



WEST SIDE INSTITUTIONAL -
WEST SIDE SEPHARDIC SYNAGOGUE

NEW MAKOM FOR THE WSSS



**PLAN FOR NEW CONSTRUCTION
APRIL 2021**



WEST SIDE INSTITUTIONAL
SYNAGOGUE



MOVING OF THE PLAQUES

WEST SIDE SEPHARDIC SYNAGOGUE

MEMORIAL PLATES INSTALLATION

IN MAIN SYNAGOGUE



DESIGN | JOSEPH B JOSEPH
C: 646-221-9138
E: BENJBICONCEPT@GMAIL.COM

TO DISCUSS FURTHER,
PLEASE CALL

ARI AFILALO
C: 610-585-8839
E: AFILALO@GMAIL.COM

MEMORIAL PLATES INSTALLATION

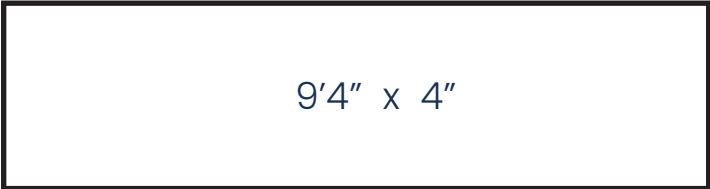
IN MAIN SYNAGOGUE | TOTAL: 83 FEET



38' x 4"



22' x 4"



9'4" x 4"



4'5" x 4"



8' x 4"





**APPROVAL FROM THE
LANDMARK
PRESERVATION
COMMISSION**

Done CNE-21-06638-03032...



1 of 2

NDMARKS PRESERVATION COMMISSION ELECTRONIC APPROVAL - 03/03/2021 - SK



THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION
1 CENTRE STREET 9TH FLOOR NORTH NEW YORK NY 10007
TEL: 212 669-7700 FAX: 212 669-7780



PERMIT CERTIFICATE OF NO EFFECT

ISSUE DATE: 03/03/21	EXPIRATION DATE: 3/3/2025	DOCKET #: LPC-21-06638	CNE CNE-21-06638
ADDRESS: 120 WEST 76TH STREET Apt/Floor: 01		BOROUGH: MANHATTAN	BLOCK/LOT: 1147 / 42
Upper West Side/Central Park West Historic District			

Display This Permit While Work Is In Progress

ISSUED TO:

Ari Afilalo
West Side Sephardic Synagogue
255 West 84th Street, 7C
New York, NY 10024

Pursuant to Section 25-306 of the Administrative Code of the City of New York, the Landmarks Preservation Commission hereby approves certain alterations to the subject premises as proposed in your application completed on March 02, 2021.

The approved work consists of interior alterations only at the first floor, as shown on drawings A-001.00, A-002.00, and A-003.00, dated February 3, 2021; and drawings A-004.00 and A-005.00, dated October 26, 2020, and prepared by Serdar Ceylan, RA, all submitted as components of the application.

The Commission has reviewed the application and these drawings and finds that the work will have no effect on significant protected features of the building.

This permit is issued on the basis of the building and site conditions described in the application and disclosed during the review process. By accepting this permit, the applicant agrees to notify the Commission if the actual building or site conditions vary or if original or historic building fabric is discovered. The Commission reserves the right to amend or revoke this permit, upon written notice to the applicant, in the event that the actual building or site conditions are materially different from those described in the application or disclosed during the review process.

LANDMARKS PRESERVATION COMMISSION ELECTRONIC APPROVAL - 03/03/2021 - SK

The approved documents and Department of Buildings filing drawings where applicable, are marked as approved by the Commission, with the date of the approval indicated. The work is limited to what is contained in the approved documents and referenced in the approval. Other work or amendments to this filing must be reviewed and approved separately. The applicant is hereby put on notice that performing or maintaining any work not explicitly authorized by this permit may make the applicant liable for criminal and/or civil penalties, including imprisonment and fine. This letter constitutes the permit; a copy must be prominently displayed at the site while work is in progress. Please direct inquiries to Stephanie Kraut.

Sarah Carroll

Sarah Carroll
Chair

PLEASE NOTE: APPROVED DOCUMENTS, DEPARTMENT OF BUILDINGS FILING DRAWINGS WHERE APPLICABLE, AND A COPY OF THIS PERMIT HAVE BEEN PROVIDED TO:

Sedar Ceylan, Sedar Ceylan Architect PC

cc: Emma Waterloo, Deputy Director, Sedar Ceylan, Sedar Ceylan Architect PC



LANDMARKS PRESERVATION COMMISSION ELECTRONIC APPROVAL - 03/03/2021 - SK



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LANDMARKS PRESERVATION COMMISSION

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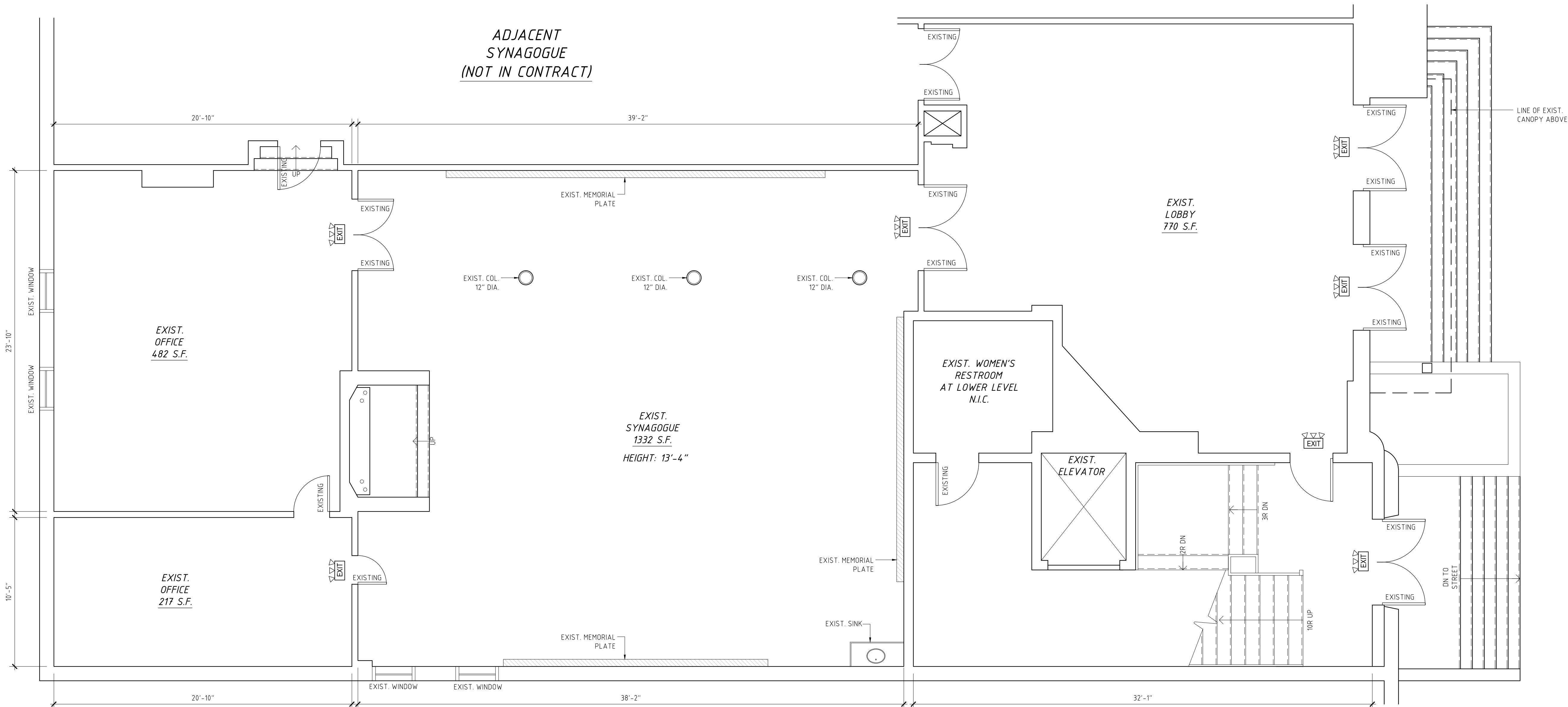


Sarah Carroll
Chair

PLEASE NOTE: APPROVED DOCUMENTS, DEPARTMENT OF BUILDINGS FILING DRAWINGS WHERE APPLICABLE, AND A COPY OF THIS PERMIT HAVE BEEN PROVIDED TO:

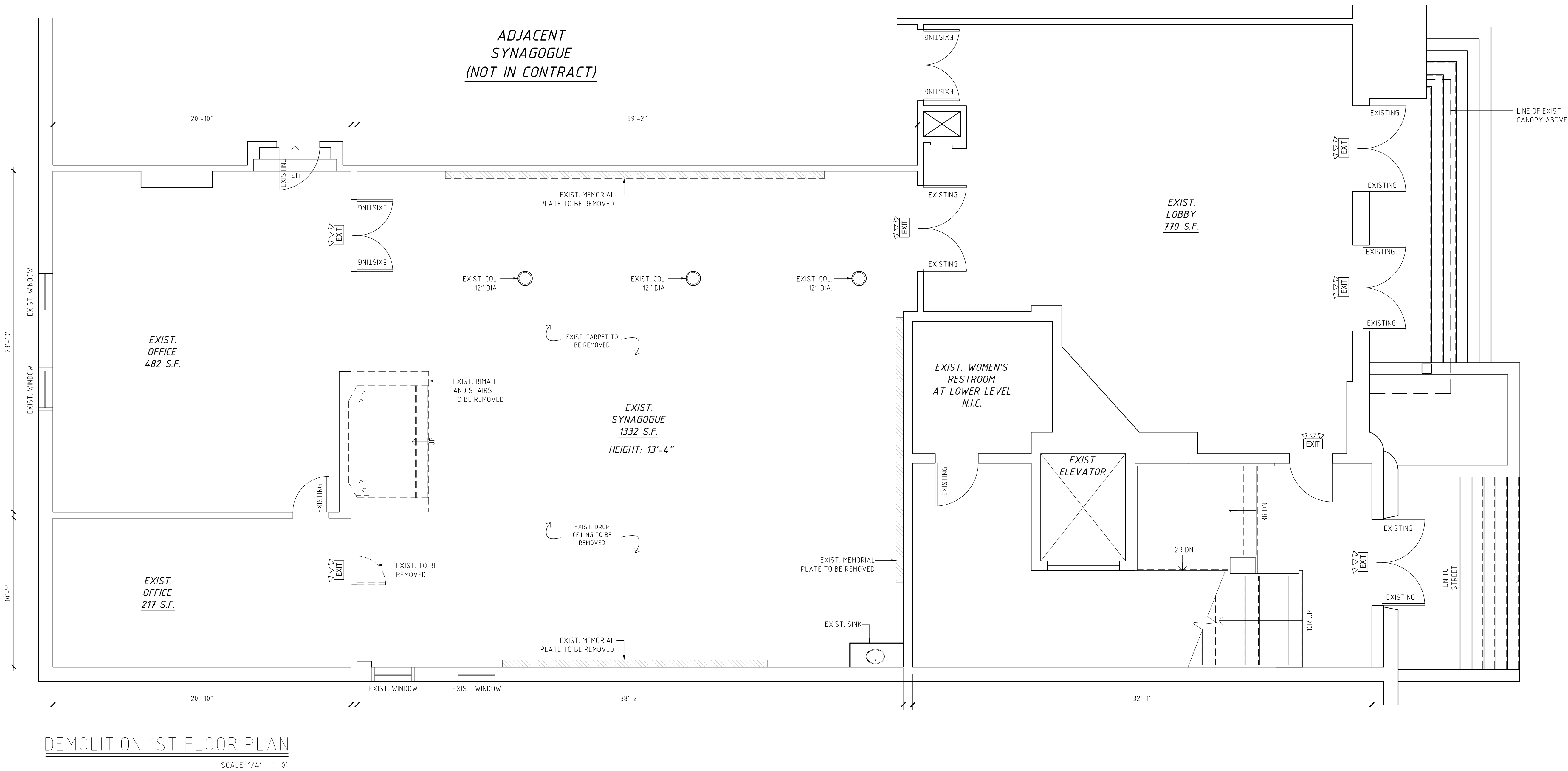
Sedar Ceylan, Sedar Ceylan Architect PC

cc: Emma Waterloo, Deputy Director; Sedar Ceylan, Sedar Ceylan Architect PC



EXISTING 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DATE	No	REMARKS
PROJECT ADDRESS: 120 WEST 76TH STREET, NY, NY 10023		
DRAWING TITLE: EXISTING PARTIAL 1ST FLOOR PLAN		
JOB DESCRIPTION: MINOR INTERIOR RENOVATION OF EXIST. SYNAGOGUE.		
SERDAR CEYLAN ARCHITECT, P.C. 267 5TH AVENUE, NEW YORK NY 10016, #410 TEL: 646-441-8224 serdarceylan@hotmail.com		
SEAL & SIGNATURE	DATE: 02/03/2021	
	DRAWING BY: T.Z.	
	CHECKED BY: S.C.	
	SCALE: AS NOTED	
	DWG NO: A-002.00	
	SHEET: 2 OF 5	
DOB STICKER		



REMOVAL OF MATERIAL NOTES:

COMBUSTIBLE WASTE MATERIAL OR COMBUSTIBLE DEBRIS SHALL NOT BE PERMITTED TO ACCUMULATE, AND SHALL BE REMOVED FROM THE SITE AT REASONABLE INTERVALS, IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DEPARTMENT.

NO MATERIAL SHALL BE DROPPED OR THROWN OUTSIDE THE EXTERIOR WALLS OF A BUILDING.

PRECAUTIONS SHALL BE TAKEN TO PREVENT CONCRETE OR MORTAR WASHINGS, SAND, GRIT, OR ANY OTHER MATERIAL THAT WOULD CAUSE CLOGGING FROM ENTERING A SEWER OR DRAIN.

DEBRIS, BRICKS, AND SIMILAR MATERIAL SHALL BE REMOVED BY MEANS OF CHUTES, BUCKETS, OR HOISTS OR THROUGH OPENINGS IN THE FLOORS OF THE STRUCTURE.

EVERY OPENING USED FOR THE REMOVAL OF DEBRIS IN EVERY FLOOR EXCEPT THE TOP OR WORKING FLOOR, SHALL BE PROVIDED WITH A TIGHT ENCLOSURE FROM FLOOR TO FLOOR, EQUIVALENT TO THAT AFFORDED BY PLANKING NOT LESS THAN TWO INCHES IN THICKNESS.

WHEREVER SUCH COVERING HAS BEEN TEMPORARILY REMOVED TO PERMIT DEBRIS REMOVAL FLOOR OPENINGS SHALL BE PROTECTED BY STANDARD GUARD RAILS OR RAILINGS. SUCH COVERING SHALL BE PROMPTLY REPLACED IN POSITION UPON THE CEASING OF SUCH WORK AT THE END OF EACH WORK DAY.

DUST PRODUCING OPERATIONS SHALL BE WETTED DOWN TO THE EXTENT NECESSARY TO LAY THE DUST.

THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS SHOWN OR NOTED ON THESE CONSTRUCTION DRAWINGS.

THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE TENANT AND THE BUILDING OWNER INCLUDING BUT NOT LIMITED TO WINDOW, FLOOR AND CEILING TILE, PUBLIC TOILETS, ELEVATORS, DOORS, BUCKS, ELECTRICAL, FIRE ALARM SYSTEM AND AIR CONDITIONING EQUIPMENT, CONVECTOR ENCLOSURES

THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGH OUT THE SPACE UNDER CONSTRUCTION, AS REQUIRED.

BUILDING STANDARD LIGHTING FIXTURES, DOORS BUCKS, HARDWARE, PLUMBING FIXTURES, PIPES, SWITCHES AND OTHER ITEMS WHICH ARE NOT TO BE REUSED BY TENANT IN THE NEW CONSTRUCTION AND ARE SALVAGEABLE, SHALL BE RETURNED TO THE BUILDING UPON REQUEST. ALL ITEMS NOT REUSED OR RETURNED TO THE BUILDING SHALL BE REMOVED FROM THE PREMISES.

THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, ELECTRICAL OUTLETS, TELEPHONE/SIGNAL OUTLETS, CEILING TILES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE, OR ELECTRICAL WIRING AND EQUIPMENT BACK TO THE ELECTRICAL AND TELEPHONE CLOSETS.

THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING FLOORING AND BASE, U.O.N.

IN ALL AREAS WHERE DEMOLITION (REMOVAL OF CARPETING, TACKLESS, PARTITIONS, ETC.) CAUSES AN UNEVENNESS IN SLAB, THE CONTRACTOR SHALL PATCH TO LEVEL THE SLAB.

THE GENERAL CONTRACTOR SHALL CAP AND REMOVE BACK TO SOURCE ALL PROJECTING FLOOR ELECTRICAL OUTLETS/TELEPHONE OUTLETS, AND ALL OTHERS, ETC.

ALL EXISTING OUTLETS TO BE REMOVED UNLESS OTHERWISE NOTED. ALL ELECTRICAL AND TELECOMMUNICATIONS WIRING SHALL BE REMOVED BY GENERAL CONTRACTOR TO PERMIT INSTALLATION OF NEW OUTLETS.

ALL DEMOLITION AND RUBBISH REMOVAL MUST BE DONE AT THE DISCRETION OF THE BUILDING MANAGER. ELEVATOR SERVICE TO BE ARRANGED WITH THE BUILDING MANAGER.

ALL WORK SHALL BE UNDER THE COMPLETE SUPERVISION OF A GENERAL CONTRACTOR.

ALL DELIVERIES OF CONSTRUCTION MATERIALS ARE TO BE MADE AT THE DISCRETION OF BUILDING MANAGER. WHEN CONSTRUCTION MATERIALS, DEBRIS OR EQUIPMENT IS DELIVERED OR REMOVED FROM THE JOB SITE, ALL BUILDING CORRIDORS, ELEVATORS AND THE LOADING PLATFORM SHALL BE CLEANED AFTER WORK FROM THE DELIVERY IS COMPLETE.

WHEN DEMOLITION OR CONSTRUCTION IS IN PROGRESS, EVERY PRECAUTION SHALL BE TAKEN TO PREVENT ANY DUST AND/OR ODORS FROM ESCAPING TO ADJACENT TENANT AREAS OR BUILDING CORRIDORS. ADJ. PSACES MUST BE CLEANED DAILY

ALL TRADESMEN SHALL USE THE BUILDING FREIGHT SERVICE CAR ONLY FOR INGRESS AND EGRESS TO THE JOB SITE UNLESS OTHERWISE DIRECTED.

NO CONTRACTOR OR SUBCONTRACTOR WILL BE ALLOWED TO ENTER THE BUILDING UNTIL A CLEARANCE IS OBTAINED FROM THE BUILDING MANAGER.

THE PUBLIC CORRIDORS WILL BE PROTECTED BY THE LAYING OF THISTLE KRAFT PAPER AND TAPED DOWN, TO THE SATISFACTION OF THE BUILDING MANAGER AND THEREAFTER, MAINTAINED IN A CLEAN AND SAFE CONDITION FOR THE DURATION OF CONSTRUCTION. CONTRACTOR WILL KEEP A SMALL PIECE OF DAMP CARPET AT THE SITE ENTRANCE TO CLEAN DIRT FROM SHOES.

ALL ITEMS NOTED FOR REMOVAL AND REUSED ARE TO BE STORED IN A SAFE, SECURED AREA FOR NEW TENANT FIT-UP WORK.

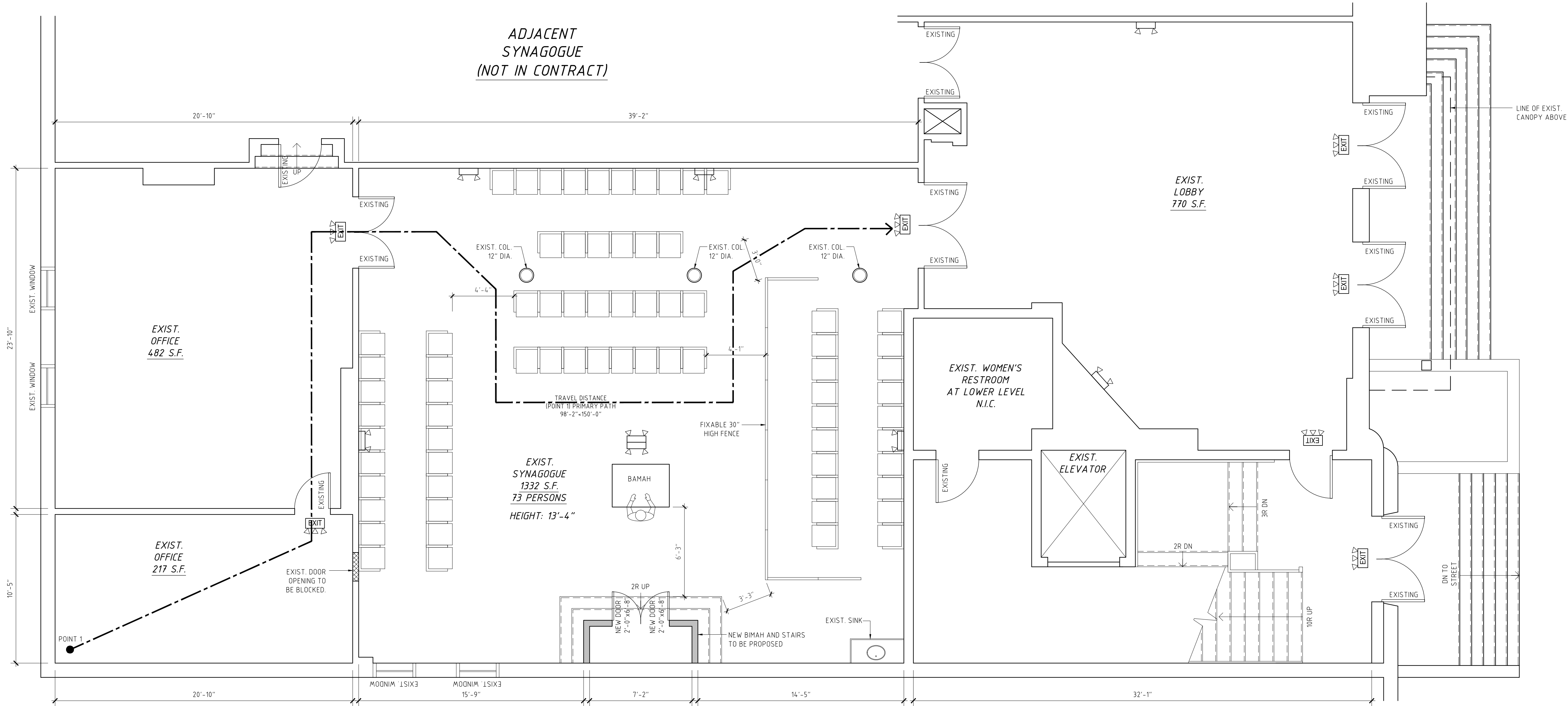
COPIES OF ANY CERTIFICATES OF COMPLIANCE REQUIRED BY THE NEW YORK CITY DEPARTMENT OF BUILDINGS AND BOARD OF FIRE UNDERWRITERS OR OTHER AUTHORITIES HAVING JURISDICTION, SHALL BE FORWARD TO THE BUILDING UPON COMPLETION OF WORK.

THE CONSTRUCTION AREA AND HALLWAYS WILL BE KEPT BROOMCLEAN AT ALL TIMES.

THE APPROVED SET OF DOCUMENTS SHALL BE KEPT AT THE SITE AT ALL TIMES AND BE ACCESSIBLE FOR INSPECTION		
DATE	No	REMARKS
PROJECT ADDRESS: 120 WEST 76TH STREET, NY, NY 10023		
DRAWING TITLE: PARTIAL 1ST FLOOR PLAN- DEMO		
JOB DESCRIPTION: MINOR INTERIOR RENOVATION OF EXIST. SYNAGOGUE.		
SERDAR CEYLAN ARCHITECT, P.C. 267 5TH AVENUE, NEW YORK NY 10016, #410 TEL: 646-441-8224 serdarceylan@hotmail.com		
SEAL & SIGNATURE 	DATE: 02/03/2021	
	DRAWING BY: T.Z.	
	CHECKED BY: S.C.	
	SCALE: AS NOTED	
	DWG NO: A-003.00	
	SHEET: 3 OF 5	

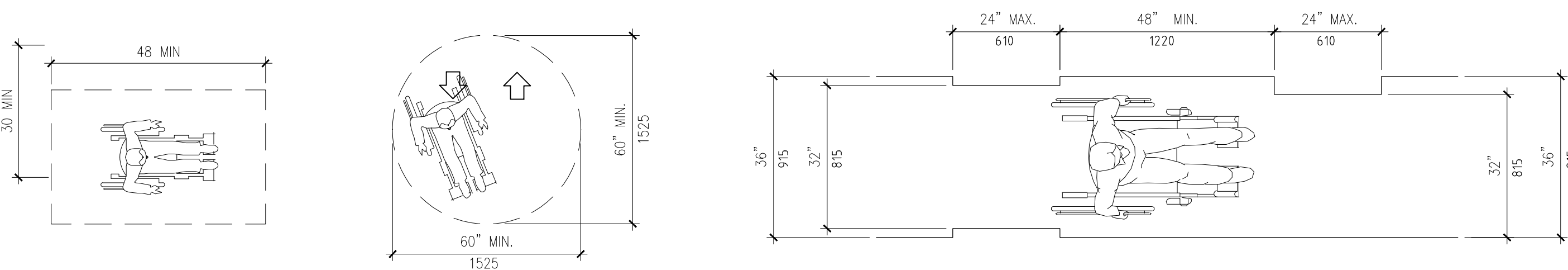
1. AREA THAT AREA TO PHYSICALLY HANDICAPPED PEOPLE SHALL COMPLY WITH THE FOLLOWING PROVISIONS AS STATED BELOW.
2. ALL WALKS, HALLS, CORRIDORS, AISLES, AND OTHER SPACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH R.S. 4-6 (ANSI A117.1-1986) 4.3 AND LOCAL LAW 58/87.
3. ACCESSIBLE ROUTES ARE DEFINED AS CONTINUOUS UNOBSTRUCTED PATHS CONNECTING ALL ACCESSIBLE ELEMENTS AND SPACES IN A BUILDING THAT CAN BE NEGOTIATED BY A PERSON WITH A SEVERE DISABILITY USING A WHEELCHAIR AND THAT ARE ALSO SAFE FOR AND USABLE BY PEOPLE WITH OTHER DISABILITIES. ACCESSIBLE ROUTES CAN BE BOTH EXTERIOR AND INTERIOR. EXAMPLES OF ACCESSIBLE ROUTES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
EXTERIOR ACCESSIBLE ROUTES:
- SIDEWALKS
- CURB RAMP
- BUILDING PRIMARY ENTRANCE(S)
(ANY NORMAL DAY TO DAY ENTRANCE(S) INCLUDING COMMERCIAL SPACES AND ANY ACCESSORY TENANT SPACES)
INTERIOR ACCESSIBLE ROUTES:
- CORRIDORS AND HALLWAYS
- FLOORS
- RAMPS AND STAIRS
- LOBBIES, FOYERS AND VESTIBULES
- ELEVATORS
- CLEAR FLOOR SPACE AT FIXTURES AND EQUIPMENT
EXAMPLES OF ACCESSIBLE SPACES AND ELEMENTS SHALL INCLUDE BUT ARE NOT LIMITED TO:
ALL PUBLIC SPACES WITHIN THE BUILDING(S)
- TENANT AND COMMUNITY ROOMS
- KITCHENS ACCESSORY TO TENANT AND COMM. RMS.
- LAUNDRY ROOMS
- OFFICES (INCL. TOILET RMS.)
- COMMERCIAL SPACES (INCL. TOILET RMS.)
- PUBLIC USE TOILET ROOMS
- REFUSE CHUTE AND COLLECTION ROOMS
- REFUSE CHUTE AND COLLECTION ROOMS
4. ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH R.S. 4-6 SECTION 4.8.
5. ALL STAIRS ALONG AN ACCESSIBLE ROUTE SHALL COMPLY WITH R.S. 4-6 SECTION 4.9.
6. HANDRAILS AT STAIRS ALONG ACCESSIBLE ROUTES SHALL COMPLY WITH R.S. 4-6 SECTION 4.9.4.
7. DETECTABLE WARNINGS ALONG ACCESSIBLE ROUTES SHALL COMPLY WITH R.S. 4-6 SECTION 4.27.
8. DETECTABLE WARNINGS AT THE TOP OF STAIR RUNS ALONG ACCESSIBLE ROUTE SHALL COMPLY WITH R.S. 4-6 SECTION 4.27.4.
9. ALL THRESHOLDS AT DOORWAYS ALONG AN ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" CHANGE IN LEVEL AND SHALL COMPLY WITH R.S. 4-6 SECTION 4.13.8.
10. ALL DOORS TO ACCESSIBLE SPACES SHALL COMPLY R.S. 4-6 SECTION 4.13.
11. ALL HANDRAILS, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES AT ENTRANCE DOORS TO ADAPTABLE UNITS AND AT PUBLIC SPACES SHALL COMPLY WITH R.S. 4-6 SECTION 4.13.9. IF A DOOR CLOSER IS REQUIRED IT SHALL COMPLY WITH R.S. 4-6 SECTION 4.13.10.
12. ROUTE SHALL COMPLY WITH R.S. 4-6 SECTION 4.25. ALL ALARMS SHALL BE BOTH AUDIBLE AND VISIBLE AND COMPLY WITH R.S. 4-6 SECTION 4.26.
13. ALL TOILET ROOMS PROVIDED FOR PUBLIC USE OR COMMON USE SHALL COMPLY WITH R.S. 4-6 SECTIONS 4.16, 4.17, 4.18, 4.19, AND 4.22.
14. ALL GRAB BARS IN ACCESSIBLE TOILET ROOMS SHALL COMPLY WITH R.S. 4-6 SECTION 4.24.
15. ACCESSIBLE LAUNDRY FACILITIES SHALL COMPLY WITH R.S. 4-6 SECTION 4.32.6.

ADJACENT
SYNAGOGUE
(NOT IN CONTRACT)



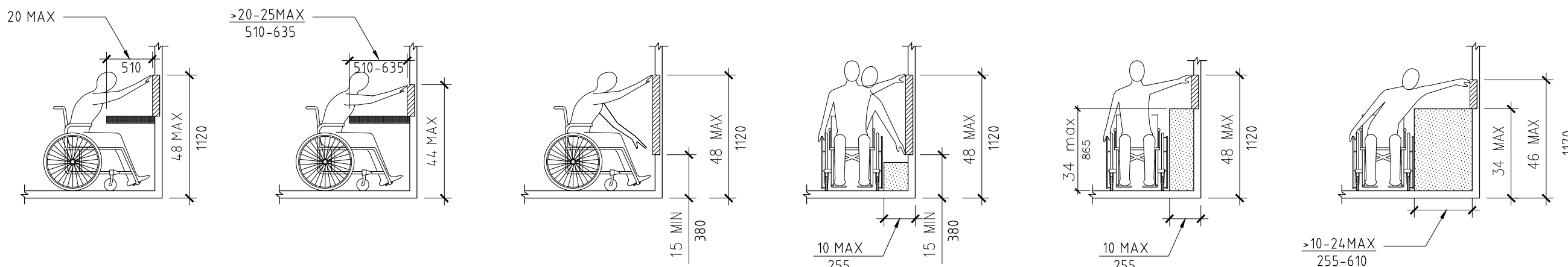
PROPOSED 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

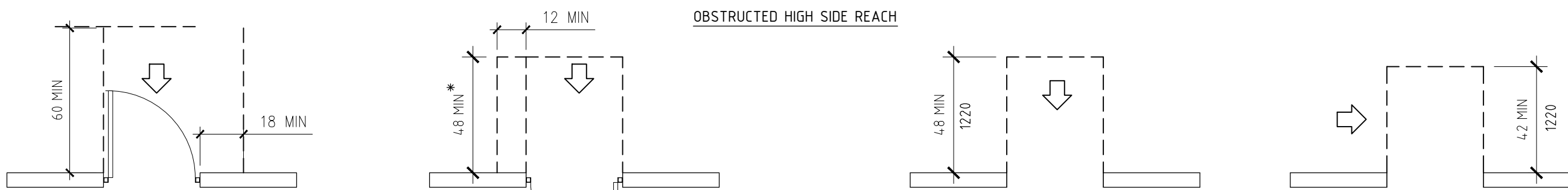


SIZE OF CLEAR FLOOR SPACE

CLEAR WIDTH OF AN ACCESSIBLE ROUTE



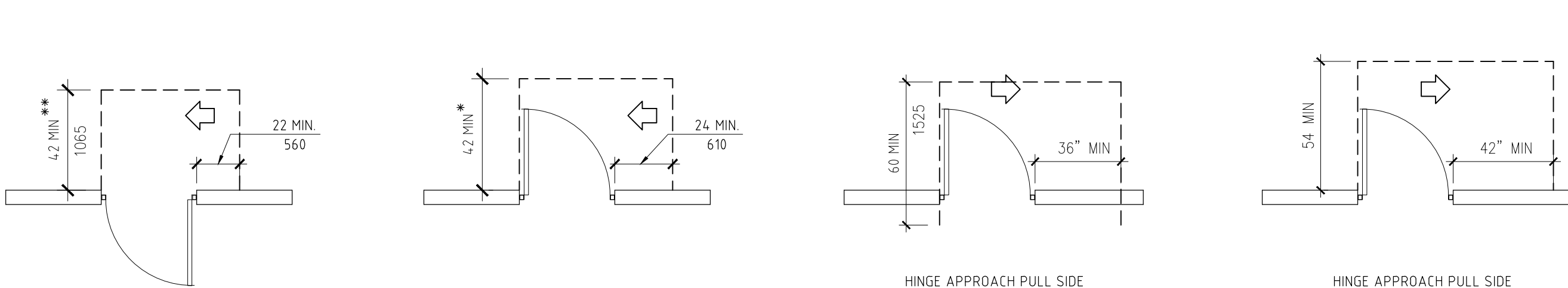
OBSTRUCTED HIGH SIDE REACH



FRONT APPROACH PULL SIDE

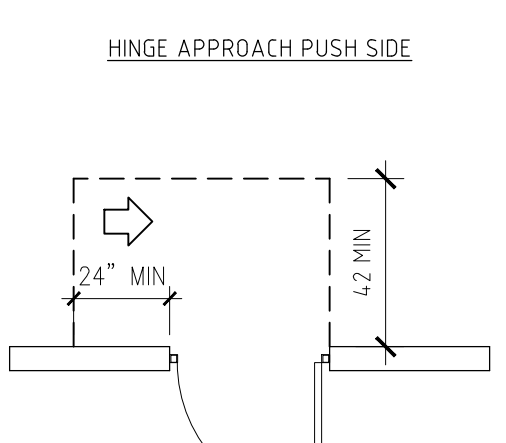
FRONT APPROACH PUSH SIDE

MANEUVERING CLEARANCE AT OPENINGS WITHOUT DOORS

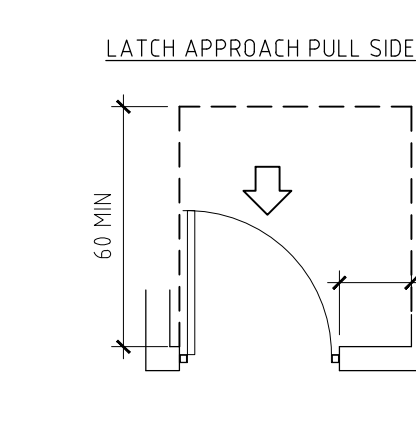


HINGE APPROACH PUSH SIDE

LATCH APPROACH PUSH SIDE



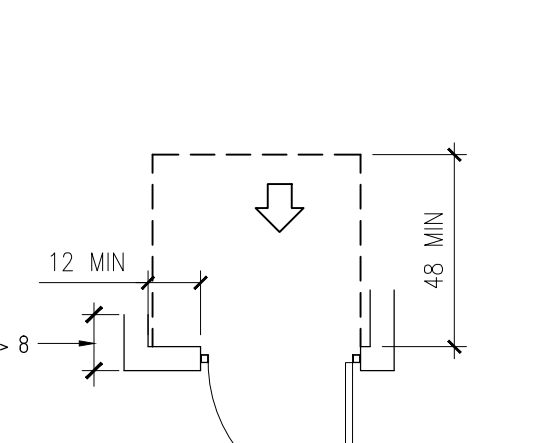
LATCH APPROACH PUSH SIDE



FRONT APPROACH PULL SIDE

FRONT APPROACH PUSH SIDE

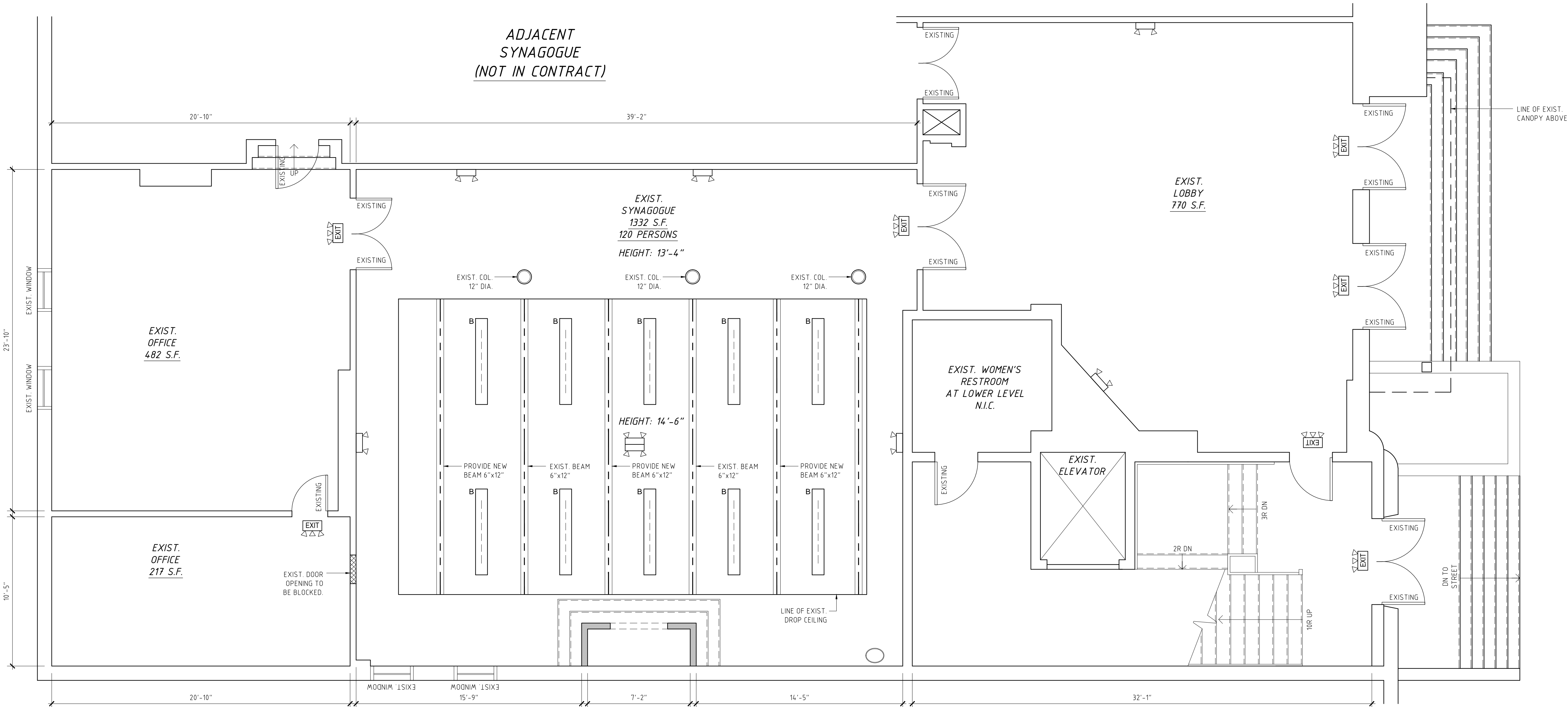
MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS



DOOR PROVIDED WITH CLOSER AND LATCH

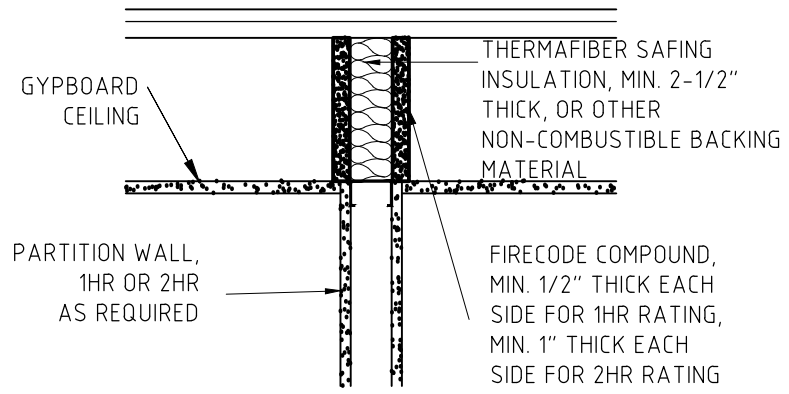
FRONT APPROACH PUSH SIDE

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PROJECT ADDRESS: 120 WEST 76TH STREET, NY, NY 10023		
DRAWING TITLE: PROPOSED PARTIAL 1ST FLOOR PLAN		
JOB DESCRIPTION: MINOR INTERIOR RENOVATION OF EXIST. SYNAGOGUE.		
SERDAR CEYLAN ARCHITECT, P.C. 267 5TH AVENUE, NEW YORK NY 10016, #410 TEL: 646-441-8224 serdarceylan@hotmail.com		
SEAL & SIGNATURE	DATE: 10/26/2020	
	DRAWING BY: T.Z.	
	CHECKED BY: S.C.	
	SCALE: AS NOTED	
	DWG NO: A-004.00	
SHEET: 4 OF 5		
DOB STICKER		



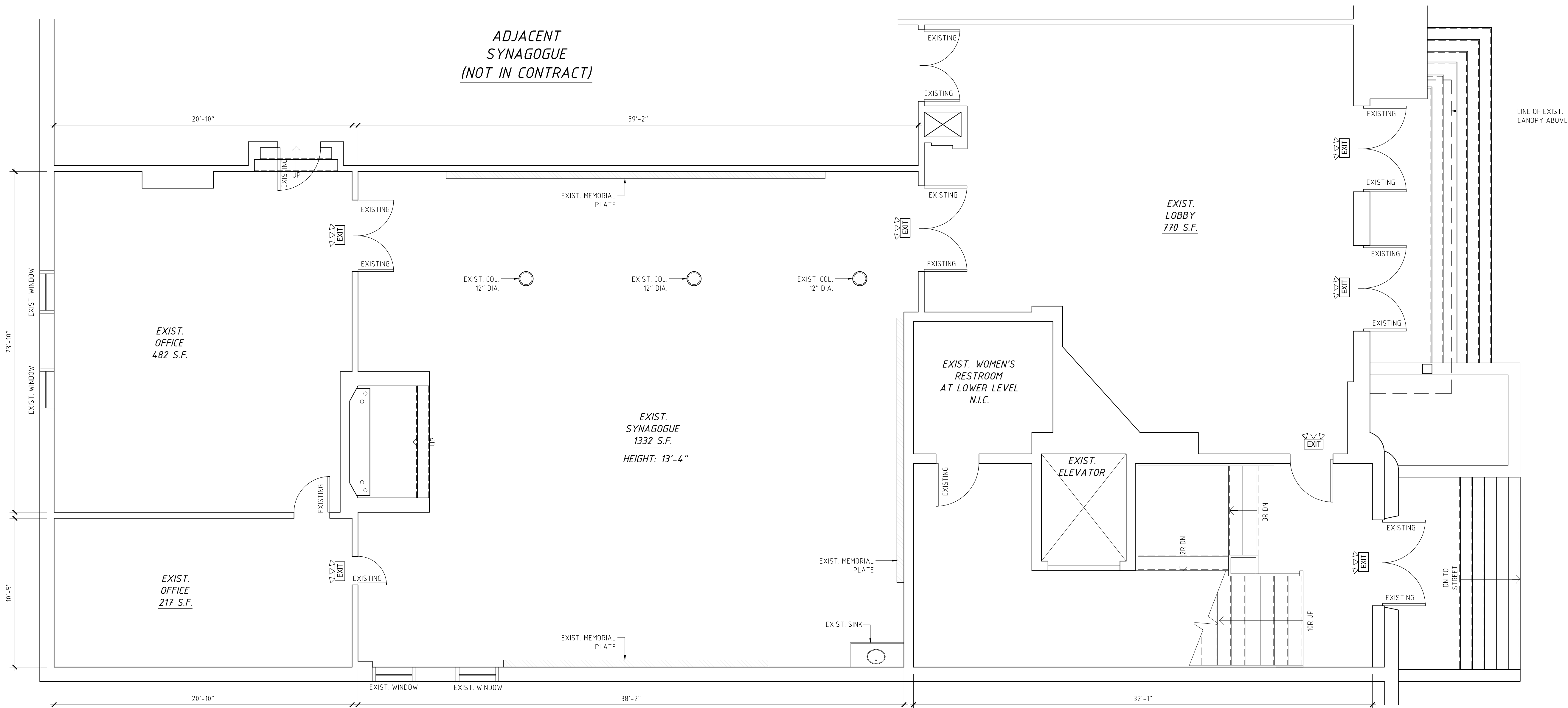
- LEGEND**
- LANDMARK PRESERVATION COMMISSION**
ELECTRONIC APPROVAL - 03/03/2021 - SK
- A** 4" DIA LED RECESSED (COMPACT FLUORESCENT) HALO MODEL# H7ICT 30 W/120V OR APPROVED EQUAL
- B** 6'-0" -CLOSE TO CEILING LED BY SATCO NUVO LIGHTING. 3000K OPTION: 50 WATT / 120 VOLTS MODEL No: RND/FLUSH/3K/WH INTEGRATED LED: CRI: 80 COLOR TEMP: 3000K
- EXIT** THERMOSTATIC LED EXIST SIGN WITH BATTERY BACK UP, MANUFACTURING- SECURITY LIGHTING, MODEL No: RPB, INTERNAL LIT, OR APPROVED EQUAL. 5 WATTS MAX. PER SIDE AS PER N.Y.C.E.C.C.
- EMERGENCY LIGHT** BY TLS, MODEL No: SEL-6-54-2-7.2W. UL924 LISTED, NEC, NFPA 101
- OCCUPANCY SENSOR CONTROL** BY: LITHONIA LIGHTING, MODEL No: CMR 10, 120 VOLTS, CFL, INCANDESCENT

- FIRE STOPPING NOTES:**
- DUCT AND PIPE SPACES AND CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ETC. THAT WOULD PERMIT PASSAGE OF FLAME, SMOKE, FUMES, OR HOT GASES FROM ONE FLOOR TO ANOTHER, SHALL BE FILLED WITH NON-COMBUSTIBLE MATERIAL AS PER SECT. 27-34.5.
 - FIRE STOPPING MAY BE OF COMBUSTIBLE MATERIALS CONSISTING OF WOOD NOT LESS THAN 2" NOMINAL THICKNESS WITH TIGHT JOINTS, EXCEPT THAT NON-COMBUSTIBLE FIRE STOPPING SHALL BE USED IN CONCEALED SPACES OF FIRE DIVISIONS AND WHERE IN CONTACT WITH FIREPLACES, FLUES, AND CHIMNEYS AS PER SEC 27-34.5(a).
 - ALL HOLLOW PARTITIONS AND FURRED OUT SPACES SHALL BE FIRE STOPPED AT EACH FLOOR LEVEL. FIRE STOPS SHALL BE THE FULL THICKNESS OF THE HOLLOW FURRED OUT SPACES AS PER SEC 27-34.5(b).
 - CONCEALED SPACES WITHIN STAIRS CONSTRUCTION SHALL BE FIRE STOPPED BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH FLIGHT OF STAIRS SO AS NOT TO COMMUNICATE WITH SPACES IN THE FLOOR, ROOF, OR INTERMEDIATE LANDING CONSTRUCTION AS PER SEC 27-34.5(c).
 - CEILINGS THAT CONTRIBUTE TO THE REQUIRED FIRE-RESISTANCE RATING OF A FLOOR OR ROOF ASSEMBLY SHALL BE CONTINUOUS BETWEEN EXTERIOR WALLS, VERTICAL FIRE DIVISIONS, FIRE SEPARATIONS, CORRIDOR PARTITIONS HAVING AT LEAST THE SAME FIRE RESISTANCE RATING AS THE CEILING. THE CONCEALED SPACE ABOVE SUCH CEILING SHALL BE FIRE STOPPED INTO AREAS NOT EXCEEDING 3,000 S.F. FOR THE FULL HEIGHT OF THE CONCEALED SPACE.
 - ALL FIRESTOPPING TO BE PERFORMED AS PER APPLICABLE UL DETAILS AND MANUFACTURER'S RECOMMENDATION.
 - ANY WORK PERFORMED ON WALLS, CEILINGS AND/OR FLOOR COMMON TO OTHER HABITABLE SPACES, PUBLIC SPACES OR TO THE EXTERIOR SHALL NOT LOWER THEIR FIRE RATINGS.



TYPICAL FIRESTOPPING DETAIL
SCALE: N.T.S.

THE APPROVED SET OF DOCUMENTS SHALL BE KEPT AT THE SITE AT ALL TIMES AND BE ACCESSIBLE FOR INSPECTION		
DATE	No	REMARKS
PROJECT ADDRESS: 120 WEST 76TH STREET, NY, NY. 10023		
DRAWING TITLE: PARTIAL 1ST FLOOR PLAN-RCP		
JOB DESCRIPTION: MINOR INTERIOR RENOVATION OF EXIST. SYNAGOGUE.		
SERDAR CEYLAN ARCHITECT, P.C. 267 5TH AVENUE, NEW YORK NY 10016, #410 TEL: 646-441-8224 serdarceylan@hotmail.com		
SEAL & SIGNATURE	DATE: 10/26/2020	
	DRAWING BY: T.Z.	
	CHECKED BY: S.C.	
	SCALE: AS NOTED	
	DWG NO: A-005.00	
SHEET: 5 OF 5		



EXISTING 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"



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JOB DESCRIPTION: MINOR INTERIOR RENOVATION OF EXIST. SYNAGOGUE.		
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SEAL & SIGNATURE	DATE: 02/03/2021	
REGISTERED ARCHITECT SERDAR CEYLAN STATE OF NEW YORK 41382	DRAWING BY: T.Z.	
	CHECKED BY: S.C.	
	SCALE: AS NOTED	
	DWG NO: A-002.00	
	SHEET: 2 OF 5	

#M00485359-11



COMBUSTIBLE WASTE MATERIAL OR COMBUSTIBLE DEBRIS SHALL NOT BE PERMITTED TO ACCUMULATE, AND SHALL BE REMOVED FROM THE SITE AT REASONABLE INTERVALS, IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DEPARTMENT.

NO MATERIAL SHALL BE DROPPED OR THROWN OUTSIDE THE EXTERIOR WALLS OF A BUILDING.

PRECAUTIONS SHALL BE TAKEN TO PREVENT CONCRETE OR MORTAR WASHINGS, SAND, GRIT, OR ANY OTHER MATERIAL THAT WOULD CAUSE CLOGGING FROM ENTERING A SEWER OR DRAIN.

NO MATERIAL SHALL BE DROPPED OR THROWN OUTSIDE THE EXTERIOR WALLS OF A BUILDING.

PRECAUTIONS SHALL BE TAKEN TO PREVENT CONCRETE OR MORTAR WASHINGS, SAND, GRIT, OR ANY OTHER MATERIAL THAT WOULD CAUSE CLOGGING FROM ENTERING A SEWER OR DRAIN.

DEBRIS, BRICKS, AND SIMILAR MATERIAL SHALL BE REMOVED BY MEANS OF CHUTES, BUCKETS, OR HOISTS OR THROUGH OPENINGS IN THE FLOORS OF THE STRUCTURE.

EVERY OPENING USED FOR THE REMOVAL OF DEBRIS IN EVERY FLOOR EXCEPT THE TOP OR WORKING FLOOR, SHALL BE PROVIDED WITH A TIGHT ENCLOSURE FROM FLOOR TO FLOOR, EQUIVALENT TO THAT AFFORDED BY PLANKING NOT LESS THAN TWO INCHES IN THICKNESS.

WHEREVER SUCH COVERING HAS BEEN TEMPORARILY REMOVED TO PERMIT DEBRIS REMOVAL FLOOR OPENINGS SHALL BE PROTECTED BY STANDARD GUARD RAILS OR RAILINGS. SUCH COVERING SHALL BE PROMPTLY REPLACED IN POSITION UPON THE CEASING OF SUCH WORK AT THE END OF EACH WORK DAY.

DUST PRODUCING OPERATIONS SHALL BE WETTED DOWN TO THE EXTENT NECESSARY TO LAY THE DUST.

THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS SHOWN OR NOTED ON THESE CONSTRUCTION DRAWINGS.

THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE TENANT AND THE BUILDING OWNER INCLUDING BUT NOT LIMITED TO WINDOW, FLOOR AND CEILING TILE, PUBLIC TOILETS, ELEVATORS, DOORS, BUCKS, ELECTRICAL, FIRE ALARM SYSTEM AND AIR CONDITIONING EQUIPMENT, CONVECTOR ENCLOSURES

THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGH OUT THE SPACE UNDER CONSTRUCTION, AS REQUIRED.

BUILDING STANDARD LIGHTING FIXTURES, DOORS BUCKS, HARDWARE, PLUMBING FIXTURES, PIPES, SWITCHES AND OTHER ITEMS WHICH ARE NOT TO BE REUSED BY TENANT IN THE NEW CONSTRUCTION AND ARE SALVAGEABLE, SHALL BE RETURNED TO THE BUILDING UPON REQUEST. ALL ITEMS NOT REUSED OR RETURNED TO THE BUILDING SHALL BE REMOVED FROM THE PREMISES.

THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, ELECTRICAL OUTLETS, TELEPHONE/SIGNAL OUTLETS, CEILING TILES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE, OR ELECTRICAL WIRING AND EQUIPMENT BACK TO THE ELECTRICAL AND TELEPHONE CLOSETS.

THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING FLOORING AND BASE, U.O.N.

IN ALL AREAS WHERE DEMOLITION (REMOVAL OF CARPETING, TACKLESS, PARTITIONS, ETC.) CAUSES AN UNEVENNESS IN SLAB, THE CONTRACTOR SHALL PATCH TO LEVEL THE SLAB.

THE GENERAL CONTRACTOR SHALL CAP AND REMOVE BACK TO SOURCE ALL PROJECTING FLOOR ELECTRICAL OUTLETS/TELEPHONE OUTLETS, AND ALL OTHERS, ETC.

ALL EXISTING OUTLETS TO BE REMOVED UNLESS OTHERWISE NOTED. ALL ELECTRICAL AND TELECOMMUNICATIONS WIRING SHALL BE REMOVED BY GENERAL CONTRACTOR: TO PERMIT INSTALLATION OF NEW OUTLETS.

ALL DEMOLITION AND RUBBISH REMOVAL MUST BE DONE AT THE DISCRETION OF THE BUILDING
MANAGER. ELEVATOR SERVICE TO BE ARRANGED WITH THE BUILDING MANAGER.

ALL WORK SHALL BE UNDER THE COMPLETE SUPERVISION OF A GENERAL CONTRACTOR.

ALL DELIVERIES OF CONSTRUCTION MATERIALS ARE TO BE MADE AT THE DISCRETION OF BUILDING MANAGER. WHEN CONSTRUCTION MATERIALS, DEBRIS OR EQUIPMENT IS DELIVERED OR REMOVED FROM THE JOB SITE, ALL BUILDING CORRIDORS, ELEVATORS AND THE LOADING PLATFORM SHALL BE CLEANED AFTER WORK FROM THE DELIVERY IS COMPLETE.

WHEN DEMOLITION OR CONSTRUCTION IS IN PROGRESS, EVERY PRECAUTION SHALL BE TAKEN TO PREVENT ANY DUST AND/OR ODORS FROM ESCAPING TO ADJACENT TENANT AREAS OR BUILDING CORRIDORS. ADJ. PSACES MUST BE CLEANED DAILY

ALL TRADESMEN SHALL USE THE BUILDING FREIGHT SERVICE CAR ONLY FOR INGRESS AND EGRESS TO THE JOB SITE UNLESS OTHERWISE DIRECTED.

NO CONTRACTOR OR SUBCONTRACTOR WILL BE ALLOWED TO ENTER THE BUILDING UNTIL A CLEARANCE IS OBTAINED FROM THE BUILDING MANAGER.

THE PUBLIC CORRIDORS WILL BE PROTECTED BY THE LAYING OF THISTLE KRAFT PAPER AND TAPED DOWN, TO THE SATISFACTION OF THE BUILDING MANAGER AND THEREAFTER, MAINTAINED IN A CLEAN AND SAFE CONDITION FOR THE DURATION OF CONSTRUCTION. CONTRACTOR WILL KEEP A SMALL PIECE OF DAMP CARPET AT THE SITE ENTRANCE TO CLEAN DIRT FROM SHOES.

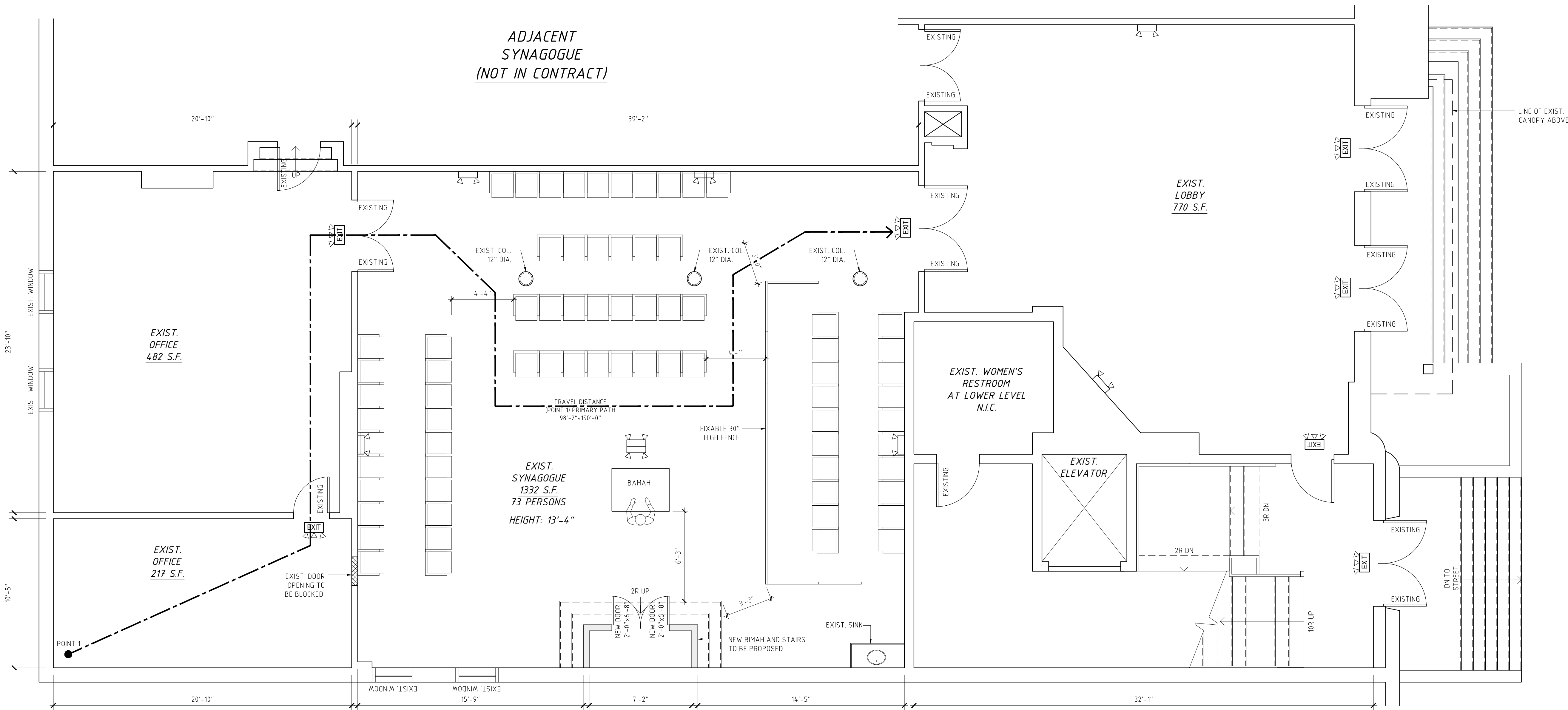
ALL ITEMS NOTED FOR REMOVAL AND REUSED ARE TO BE STORED IN A SAFE, SECURED AREA FOR NEW TENANT FIT-UP WORK.

COPIES OF ANY CERTIFICATES OF COMPLIANCE REQUIRED BY THE NEW YORK CITY DEPARTMENT OF BUILDINGS AND BOARD OF FIRE UNDERWRITERS OR OTHER AUTHORITIES HAVING JURISDICTION, SHALL BE FORWARD TO THE BUILDING UPON COMPLETION OF WORK.

THE CONSTRUCTION AREA AND HALLWAYS WILL BE KEPT BROOMCLEAN AT ALL TIMES.



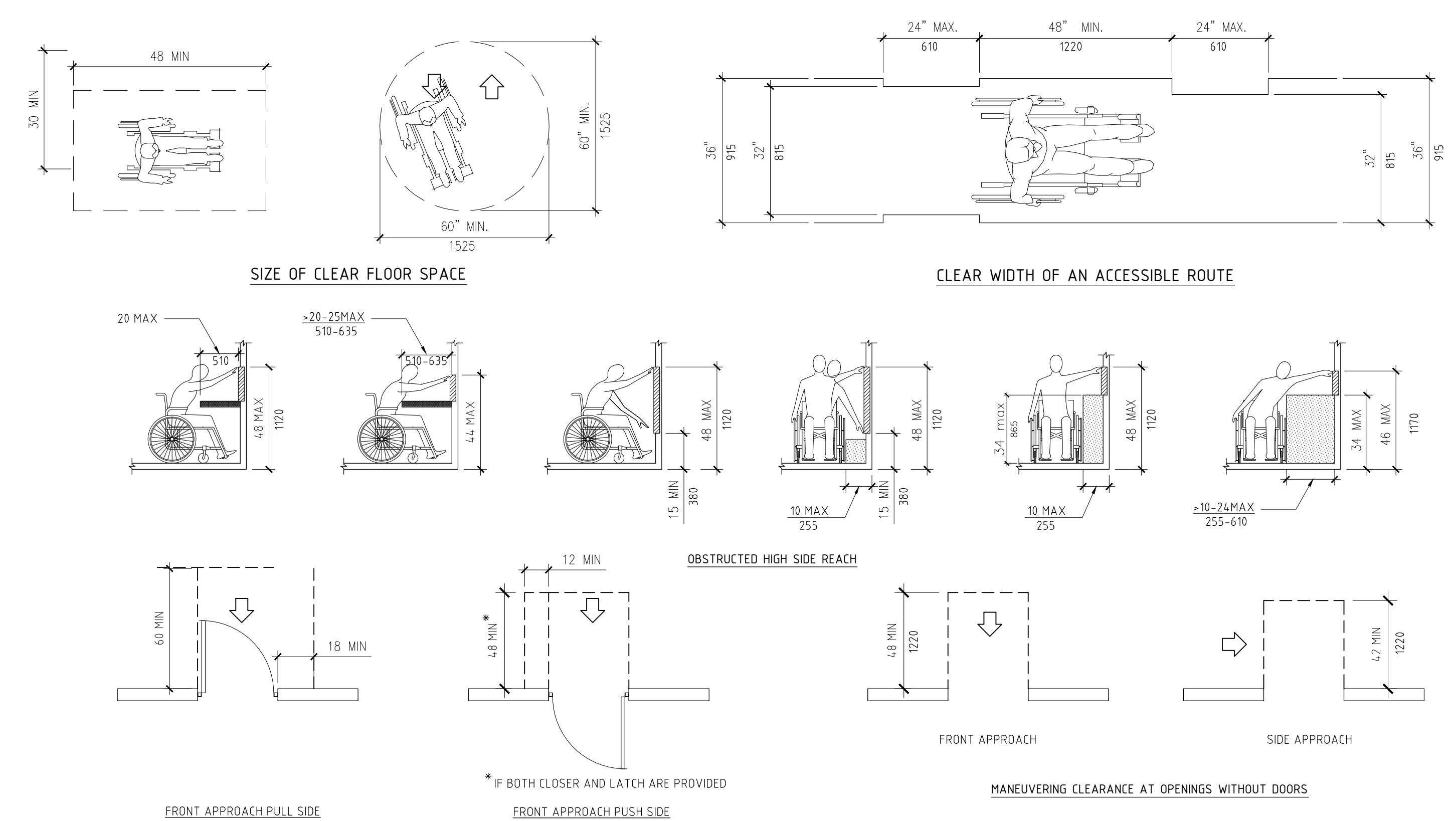
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LOCAL LAW 58/87 NOTES

1. AREA THAT AREA TO PHYSICALLY HANDICAPPED PEOPLE SHALL COMPLY WITH THE FOLLOWING PROVISIONS AS STATED BELOW
2. ALL WALKS, HALLS, CORRIDORS, AISLES, AND OTHER SPACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH R.S. 4-6 (ANSI A117.1-1986) 4.3 AND LOCAL LAW 58/87.
3. ACCESSIBLE ROUTES ARE DEFINED AS CONTINUOUS UNOBSTRUCTED PATHS CONNECTING ALL ACCESSIBLE ELEMENTS AND SPACES IN A BUILDING THAT CAN BE NEGOTIATED BY A PERSON WITH A SEVERE DISABILITY USING A WHEELCHAIR AND THAT ARE ALSO SAFE FOR AND USABLE BY PEOPLE WITH OTHER DISABILITIES. ACCESSIBLE ROUTES CAN BE BOTH EXTERIOR AND INTERIOR. EXAMPLES OF ACCESSIBLE ROUTES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 - EXTERIOR ACCESSIBLE ROUTES:
 - SIDEWALKS
 - CURB RAMPS
 - BUILDING PRIMARY ENTRANCE(S)
 - (ANY NORMAL DAY TO DAY ENTRANCE(S) INCLUDING COMMERCIAL SPACES AND ANY ACCESSORY TENANT SPACES)
 - INTERIOR ACCESSIBLE ROUTES:
 - CORRIDORS AND HALLWAYS
 - FLOORS
 - RAMPS AND STAIRS
 - LOBBIES, FOYERS AND VESTIBULES
 - ELEVATORS
 - CLEAR FLOOR SPACE AT FIXTURES AND EQUIPMENT
 - EXAMPLES OF ACCESSIBLE SPACES AND ELEMENTS SHALL INCLUDE BUT ARE NOT LIMITED TO:
 - ALL PUBLIC SPACES WITHIN THE BUILDING(S)
 - TENANT AND COMMUNITY ROOMS
 - KITCHENS ACCESSORY TO TENANT AND COMM. RMS.
 - LAUNDRY ROOMS
 - OFFICES (INCL. TOILET RMS.)
 - COMMERCIAL SPACES (INCL. TOILET RMS.)
 - PUBLIC USE TOILET ROOMS
 - REFUSE CHUTE AND COLLECTION ROOMS
 - REFUSE CHUTE AND COLLECTION ROOMS
4. ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH R.S. 4-6 SECTION 4.8.
5. ALL STAIRS ALONG AN ACCESSIBLE ROUTE SHALL COMPLY WITH R.S. 4-6 SECTION 4.9.
6. HANDRAILS AT STAIRS ALONG ACCESSIBLE ROUTES SHALL COMPLY WITH R.S. 4-6 SECTION 4.9.4.
7. DETECTABLE WARNINGS ALONG ACCESSIBLE ROUTES SHALL COMPLY WITH R.S. 4-6 SECTION 4.27.
8. DETECTABLE WARNINGS AT THE TOP OF STAIR RUNS ALONG ACCESSIBLE ROUTE SHALL COMPLY WITH R.S. 4-6 SECTION 4.27.4.
9. ALL THRESHOLDS AT DOORWAYS ALONG AN ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" CHANGE IN LEVEL AND SHALL COMPLY WITH R.S. 4-6 SECTION 4.13.8.
10. ALL DOORS TO ACCESSIBLE SPACES SHALL COMPLY R.S. 4-6 SECTION 4.13.
11. ALL HANDRAILS, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES AT ENTRANCE DOORS TO ADAPTABLE UNITS AND AT PUBLIC SPACES SHALL COMPLY WITH R.S. 4-6 SECTION 4.13.9. IF A DOOR CLOSER IS REQUIRED IT SHALL COMPLY WITH R.S. 4-6 SECTION 4.13.10.
12. ROUTE SHALL COMPLY WITH R.S. 4-6 SECTION 4.25. ALL ALARMS SHALL BE BOTH AUDIBLE AND VISIBLE AND COMPLY WITH R.S. 4-6 SECTION 4.26.
13. ALL TOILET ROOMS PROVIDED FOR PUBLIC USE OR COMMON- USE SHALL COMPLY WITH R.S. 4-6 SECTIONS 4.16, 4.17, 4.18, 4.19, AND 4.22.
14. ALL GRAB BARS IN ACCESSIBLE TOILET ROOMS SHALL COMPLY WITH R.S. 4-6 SECTION 4.24.
15. ACCESSIBLE LAUNDRY FACILITIES SHALL COMPLY WITH R.S. 4-6 SECTION 4.32.6.

PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



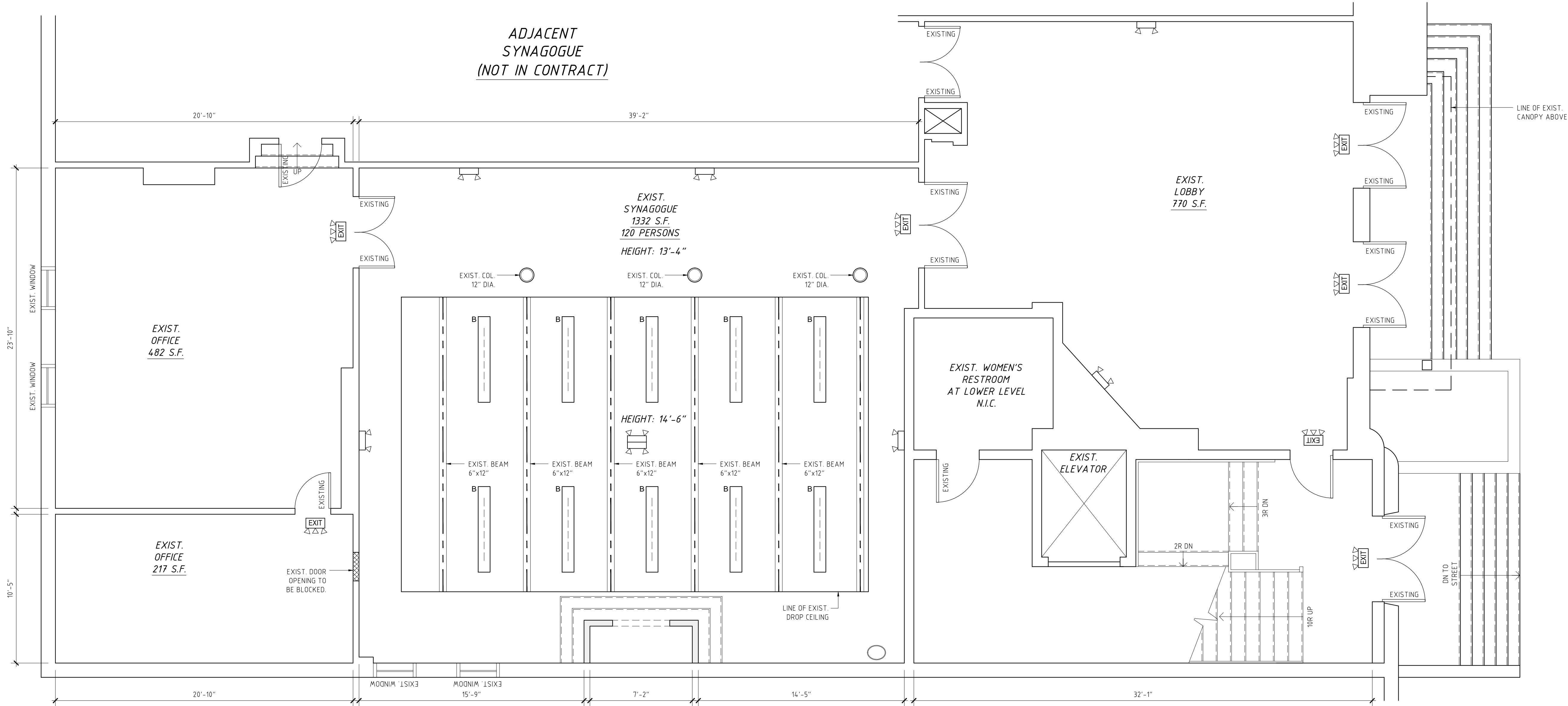
THE APPROVED SET OF DOCUMENTS SHALL BE KEPT AT THE SITE
AT ALL TIMES AND BE ACCESSIBLE FOR INSPECTION

DATE	No	REMARKS
PROJECT ADDRESS: 120 WEST 76TH STREET, NY, NY 10023		
DRAWING TITLE: PROPOSED PARTIAL 1ST FLOOR PLAN		
JOB DESCRIPTION: MINOR INTERIOR RENOVATION OF EXIST. SYNAGOGUE.		
SERDAR CEYLAN ARCHITECT, P.C. 267 5TH AVENUE, NEW YORK NY 10016, #410 TEL: 646-441-8224 serdarceylan@hotmail.com		
SEAL & SIGNATURE	DATE: 10/26/2020	
	DRAWING BY: T.Z.	
	CHECKED BY: S.C.	
	SCALE: AS NOTED	
	DWG NO: A-004.00	
SHEET: 4 OF 5		

DOOR PROVIDED WITH CLOSER AND LATCH

James Patrick Geoghagan
APPROVED
Date: 03/18/2021
Job: M00485359-11

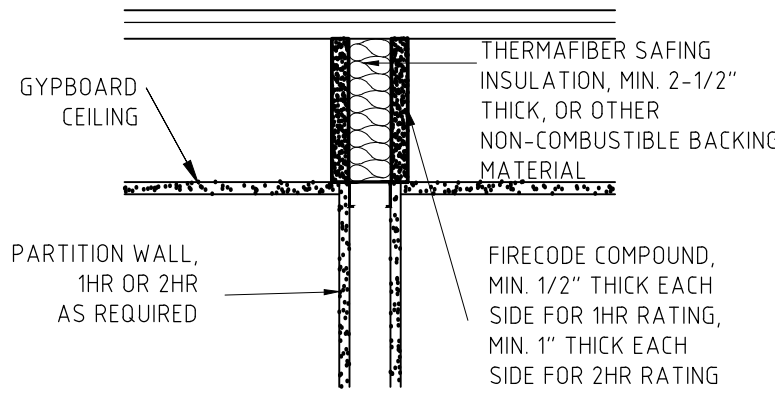
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1ST FLOOR PLAN-RCP
SCALE: 1/4" = 1'-0"

- LEGEND:
- A 4" DIA LED RECESSED (COMPACT FLUORESCENT) HALO MODEL # H7ICT 30 W/120V OR APPROVED EQUAL
 - B 6'-0" -CLOSE TO CEILING LED BY SATCO NUVO LIGHTING. 3000K OPTION: 50 WATT / 120 VOLTS MODEL No: RND/FLUSH/3K/WH INTEGRATED LED: CRI: 80 COLOR TEMP: 3000K
 - EXIT THERMOSTATIC LED EXIST SIGN WITH BATTERY BACK UP, MANUFACTURING- SECURITY LIGHTING, MODEL No: RPB, INTERNAL LIT, OR APPROVED EQUAL. 5 WATTS MAX. PER SIDE AS PER N.Y.C.E.C.C.
 - EMERGENCY LIGHT BY TLS, MODEL No: SEL-6-54-2-7.2W. UL924 LISTED, NEC, NFPA 101
 - OC OCCUPANCY SENSOR CONTROL BY: LITHONIA LIGHTING, MODEL No: CMR 10, 120 VOLTS, CFL, INCANDESCENT

- FIRE STOPPING NOTES:
- DUCT AND PIPE SPACES AND CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ETC THAT WOULD PERMIT PASSAGE OF FLAME, SMOKE, FUMES, OR HOT GASES FROM ONE FLOOR TO ANOTHER FLOOR OR ROOF SPACES, OR FROM ONE CONCEALED AREA TO ANOTHER, SHALL BE FILLED WITH NON-COMBUSTIBLE MATERIAL AS PER SECT. 27-34.5.
 - FIRE STOPPING MAY BE OF COMBUSTIBLE MATERIALS CONSISTING OF WOOD NOT LESS THAN 2" NOMINAL THICKNESS WITH TIGHT JOINTS, EXCEPT THAT NON-COMBUSTIBLE FIRE STOPPING SHALL BE USED IN CONCEALED SPACES OF FIRE DIVISIONS AND WHERE IN CONTACT WITH FIREPLACES, FLUES, AND CHIMNEYS AS PER SEC 27-34.5(a).
 - ALL HOLLOW PARTITIONS AND FURRED OUT SPACES SHALL BE FIRE STOPPED AT EACH FLOOR LEVEL. FIRE STOPS SHALL BE THE FULL THICKNESS OF THE HOLLOW FURRED OUT SPACES AS PER SEC 27-34.5(b).
 - CONCEALED SPACES WITHIN STAIRS CONSTRUCTION SHALL BE FIRE STOPPED BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH FLIGHT OF STAIRS SO AS NOT TO COMMUNICATE WITH SPACES IN THE FLOOR, ROOF, OR INTERMEDIATE LANDING CONSTRUCTION AS PER SEC 27-34.5(c).
 - CEILINGS THAT CONTRIBUTE TO THE REQUIRED FIRE-RESISTANCE RATING OF A FLOOR OR ROOF ASSEMBLY SHALL BE CONTINUOUS BETWEEN EXTERIOR WALLS, VERTICAL FIRE DIVISIONS, FIRE SEPARATIONS, CORRIDOR PARTITIONS OR ANY OTHER PARTITIONS HAVING AT LEAST THE SAME FIRE RESISTANCE RATING AS THE CEILING. THE CONCEALED SPACE ABOVE SUCH CEILING SHALL BE FIRE STOPPED INTO AREAS NOT EXCEEDING 3,000 S.F. FOR THE FULL HEIGHT OF THE CONCEALED SPACE.
 - ALL FIRESTOPPING TO BE PERFORMED AS PER APPLICABLE UL DETAILS AND MANUFACTURER'S RECOMMENDATION.
 - ANY WORK PERFORMED ON WALLS, CEILINGS AND/OR FLOOR COMMON TO OTHER HABITABLE SPACES, PUBLIC SPACES OR TO THE EXTERIOR SHALL NOT LOWER THEIR FIRE RATINGS.



TYPICAL FIRESTOPPING DETAIL
SCALE: N.T.S.

THE APPROVED SET OF DOCUMENTS SHALL BE KEPT AT THE SITE AT ALL TIMES AND BE ACCESSIBLE FOR INSPECTION

DATE	No	REMARKS
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PROJECT ADDRESS:
120 WEST 76TH STREET, NY, NY 10023

DRAWING TITLE:
PARTIAL 1ST FLOOR PLAN-RCP

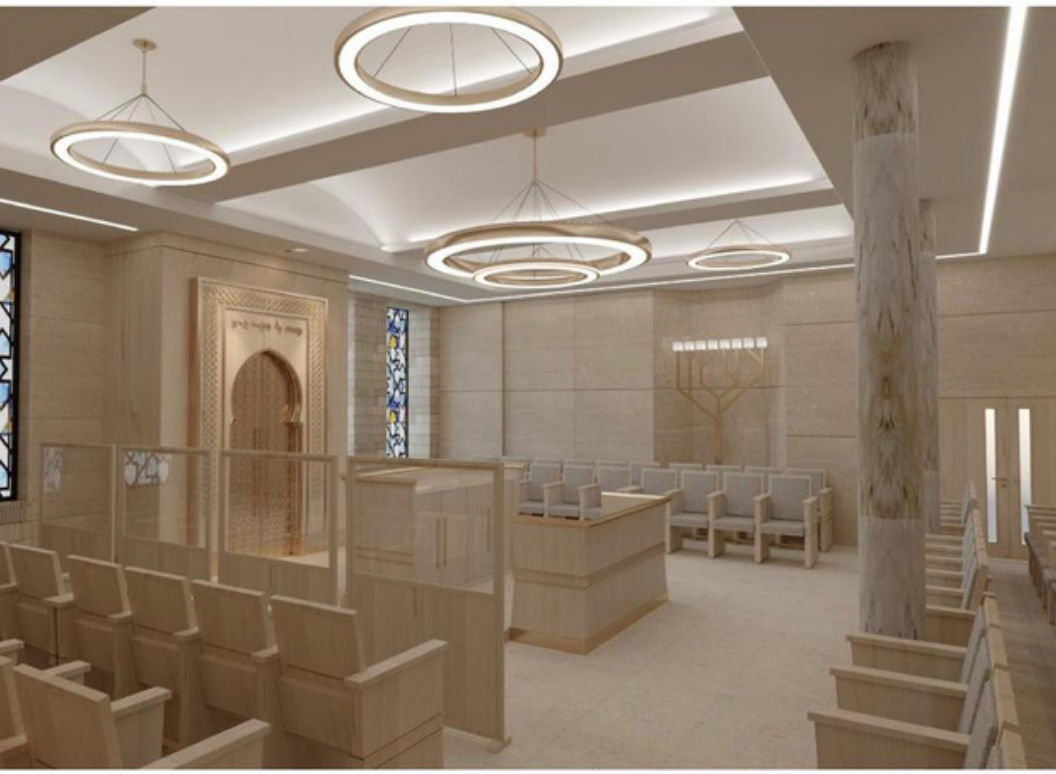
JOB DESCRIPTION:
MINOR INTERIOR RENOVATION OF EXIST. SYNAGOGUE.

SERDAR CEYLAN ARCHITECT, P.C.
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serdarceylan@hotmail.com



DATE:	10/26/2020
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SCALE:	AS NOTED
DWG NO:	A-005.00
SHEET:	5 OF 5

#M00485359-11



**PERMITS FOR
SPRINKLERS
AND QUOTE FOR WIRING
AND ELECTRICAL
COMPANY**



ALLSTATE SPRINKLER CORP. FIRE PROTECTION CONTRACTORS

1869 WHITE PLAINS ROAD, BRONX, NY 10462-1489 • 718-597-4060 • FAX 718-597-0090 • www.allstatesprinkler.com

March 15, 2021

AAR Consulting LLC
1923 McDonald Avenue - # 99
Brooklyn, NY 11223
Attn: Mr. Avi Azulay

Re: 120 West 76th Street
New York, NY

Dear Mr. Azulay,

Upon making a review of the drawings you have submitted and based upon our survey at the above-referenced location, Allstate Sprinkler Corp. will furnish all labor and materials in order to perform the following scope of work:

- Tie into the existing domestic 2" source of water.
- Install the appropriate backflow device, flow switch and gauge set-up in order to exclusively monitor the fire sprinkler system.
- Rise up to the 1st floor and provide adequate sprinkler protection throughout the main synagogue.
- Rough-in new crossmain and rough-in new branchline piping as necessary.
- Upon completion of all ceiling grids/framework, we will return to jobsite in order to revise the roughed-in piping mentioned above in order to provide adequate fire protection below all new ceiling elevations.
- All new sprinkler heads below dropped ceilings will be concealer type heads with white cover plates.
- All work is to be performed during normal business hours (7am-5pm)
- All labor provided is non-union affiliated.
- No TR-1 special inspections are included.
- No painting of any exposed piping is included.
- No plans, permits, filings or approvals are included.
- Any existing DOB or FDNY violations that prohibit us from securing a permit and have an associated fee or penalty is the building's responsibility and such fees are not included in the total cost below.
- ASC will provide all necessary liability and property damage insurance, as well as, Worker's Compensation Insurance at \$ 1 million per occurrence, \$ 2 million aggregate and an additional \$ 6 million umbrella.

Cost for above labor and materials \$ 15,540.00

Additional Costs:

1. Allstate Sprinkler Corp. will design, engineer, request and pay for DEP Hydrant Flow test, file all plans, perform all hydraulic calculations, expedite all ALT II documents, submit all applications, pay for all fees, secure work permit and perform hydrostatic pressure test in order to obtain final approval, final sign-off from NYC Dept. of Buildings and Letter of Completion.

The NYC Building Dept. requires a 3rd party inspector to be hired in order to witness and sign-off on each of the sprinkler applications. The cost below DOES NOT include the services of such independent inspection(s). The building owner/general contractor must hire this inspector directly. We can, however, recommend a special inspector to you.

Cost for above \$ 8,800.00

- **Terms: 50% deposit, 40% upon completion; 10% upon DOB sign-off.**
- **All pricing above is subject to applicable sales tax or Capital Improvement/Tax Exempt certificate from the client**
- **No services will be performed without a signed proposal/purchase order and 50% deposit as stated above.**
- **This proposal may be withdrawn by us if not accepted within -30- days.**

Hoping to be favored with your most valued order,

Sincerely,
Adam Goodrich

Acceptance of this proposal: the above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to perform all services as specified above. Release of a purchased order or retainer based on this proposal is considered as an acceptance of all terms of this proposal. Payments will be made as outlined above.

Date

Print Name

Signature

Title



**M & M CONTROL WIRING
AND ELECTRICAL, INC.**
2952/2954 Richmond Terrace, Staten Island, NY 10303
Mailing Address: 259 Fanning Street, SI, NY 10314
Tel: (718) 442-0529 / (718) 477-5342
NJ Tel: (908) 487-1211
Fax: (718) 370-0333
www.mmewelgetrical.com // email: info@mmewelgetrical.com
A CERTIFIED WOMAN BUSINESS ENTERPRISE



P #6740
01/29/21

PROPOSAL

To: West Side Institutional Synagogue
120 West 76th Street
New York, NY 10023

OUR COMPANY IS PLEASED TO PROVIDE THE FOLLOWING SERVICES:

Relocation of Memorial Plaques:

- Provide and Install 5/8" plywood at back wall of big chapel 40ft
- Provide and Install on two sides of chapel supports on round wall
- Provide and Install 5/8" plywood at two sides 23ft of big chapel
- Provide and Install sheetrock as needed
- Paint and compound walls only where wood would be installed – NOTE: Ceilings and Columns will NOT be painted.
- Remove power from existing wall plaques
- Remove 85' of plaques off the wall and relocate to big chapel
- Install plaques on plywood in big chapel
- Provide and Install power for big plaque on chapel from existing outlet on wall and energize 40' plaque
- Provide and Install conduit and wires in basement to 2-sides of big chapel for powering plaques – 2
- Make room in existing panel in basement for new wiring
- Core drill (2) holes for power on two sides by curved wall
- Provide and Install power for (2) 22 ½' plaques
- Chancel (2) walls for power as needed
- Provide and Install ¼" molding around plywood

General Qualifications/Notes:

- 1) This job is based on non-union employees and non-prevailing wages.
- 2) All work is to be performed during normal business hours. After-hours and weekends are not included.
- 3) Items not described in this proposal will be issued a change order.
- 4) Electrical Permit is included.
- 5) The following items are NOT included in this proposal:
 - a. Upgrade of Electrical Panels/Service
 - b. Moldings and Frame – only around new plywood
 - c. GC Permit
 - d. Architect Fees and Drawing approvals
 - e. Painting of entire big chapel – (only where we installed plywood)
 - f. Ceiling Paint
 - g. Responsibility of any broken plaques or any old wiring inside plaques due to age
 - h. Waxing or shining of plaques
 - i. Concrete work
 - j. Steel work
- 6) All electrical devices supplied will be contractor grade in white.
- 7) A 30% deposit is due at commencement of this proposal.
- 8) Progress Payments will be billed according to work phases.

**The complete total for this job according to
the qualifications/notes is \$30,000.00.**

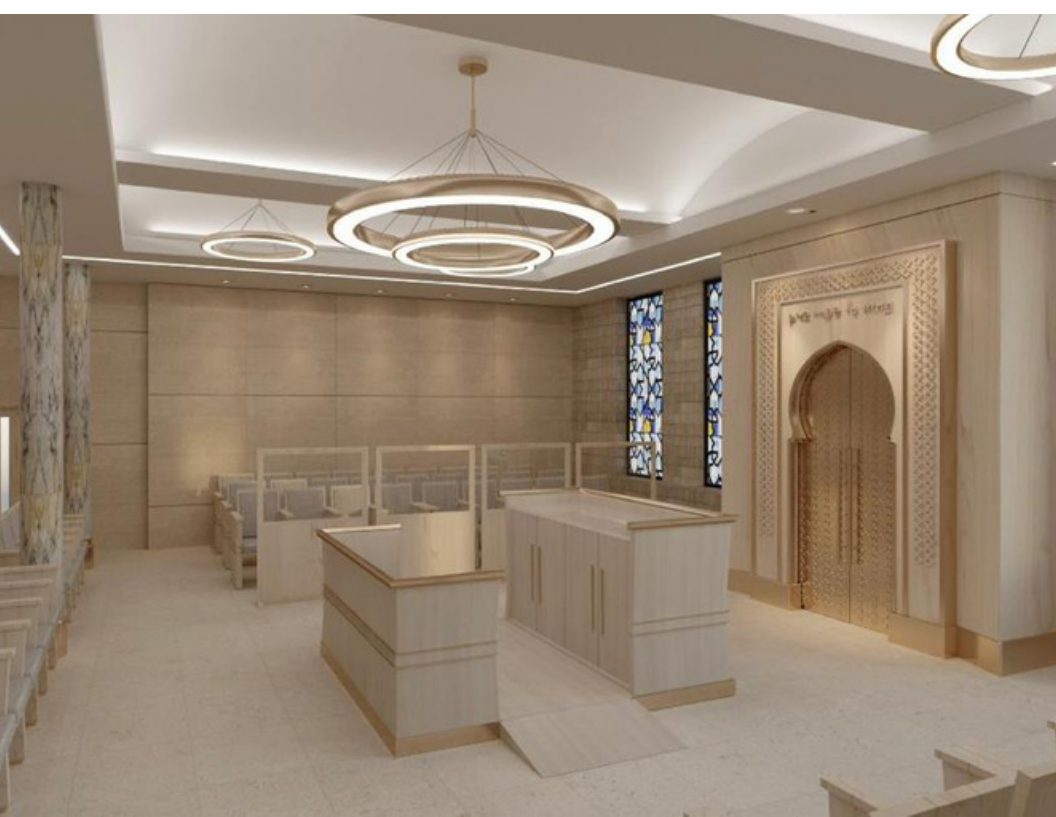
**Thank You for your Business
M & M Control Wiring
And Electrical, Inc.**

Acceptance of Proposal – The above prices,
Specifications and conditions are satisfactory and are hereby
accepted. You are authorized to do the work as specified.
Payments will be made as requested. If or any legal fee's should occur,
The above named customer is responsible for all and or any legal fee's.

Date of Acceptance:

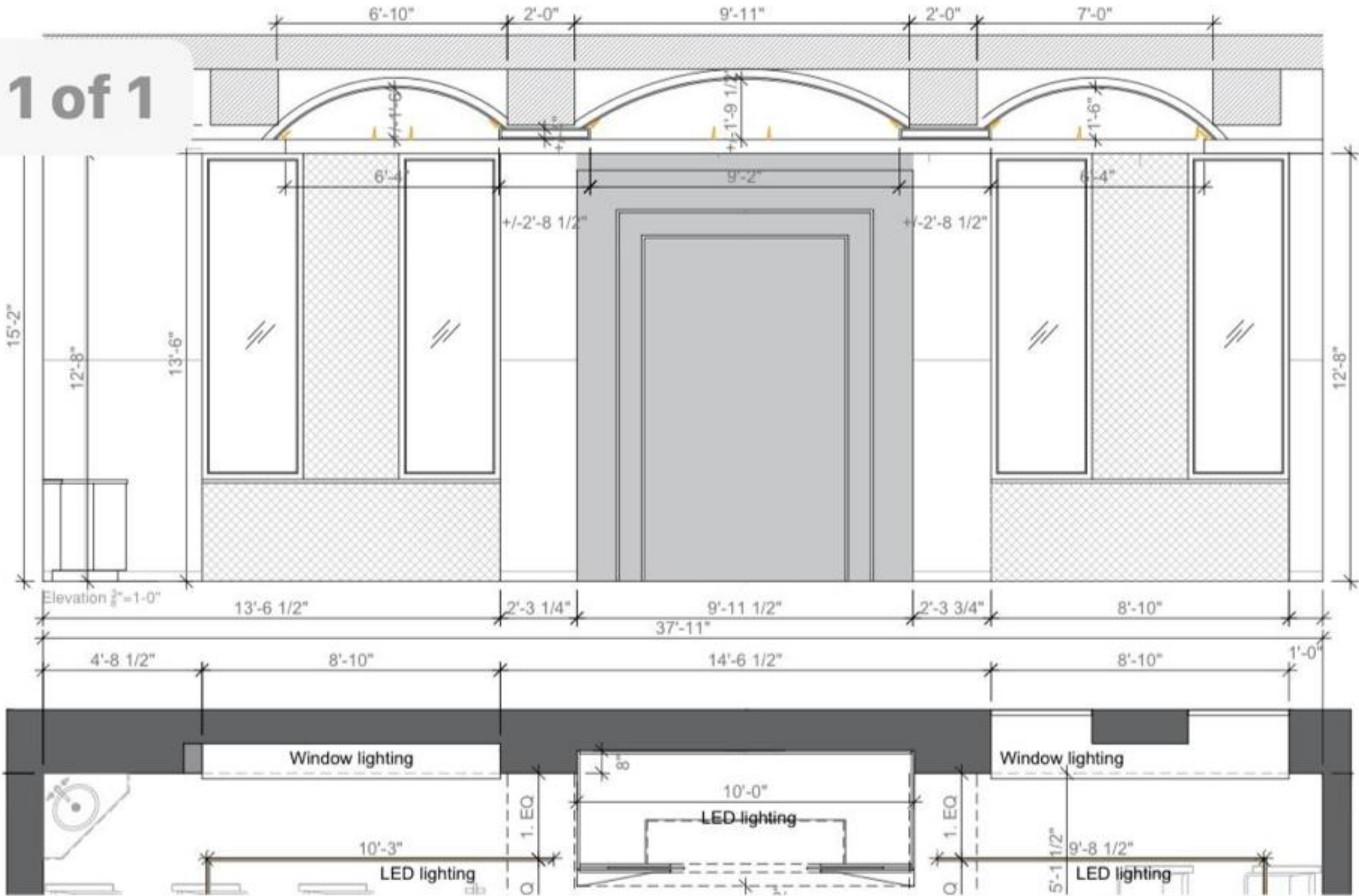
Signature:

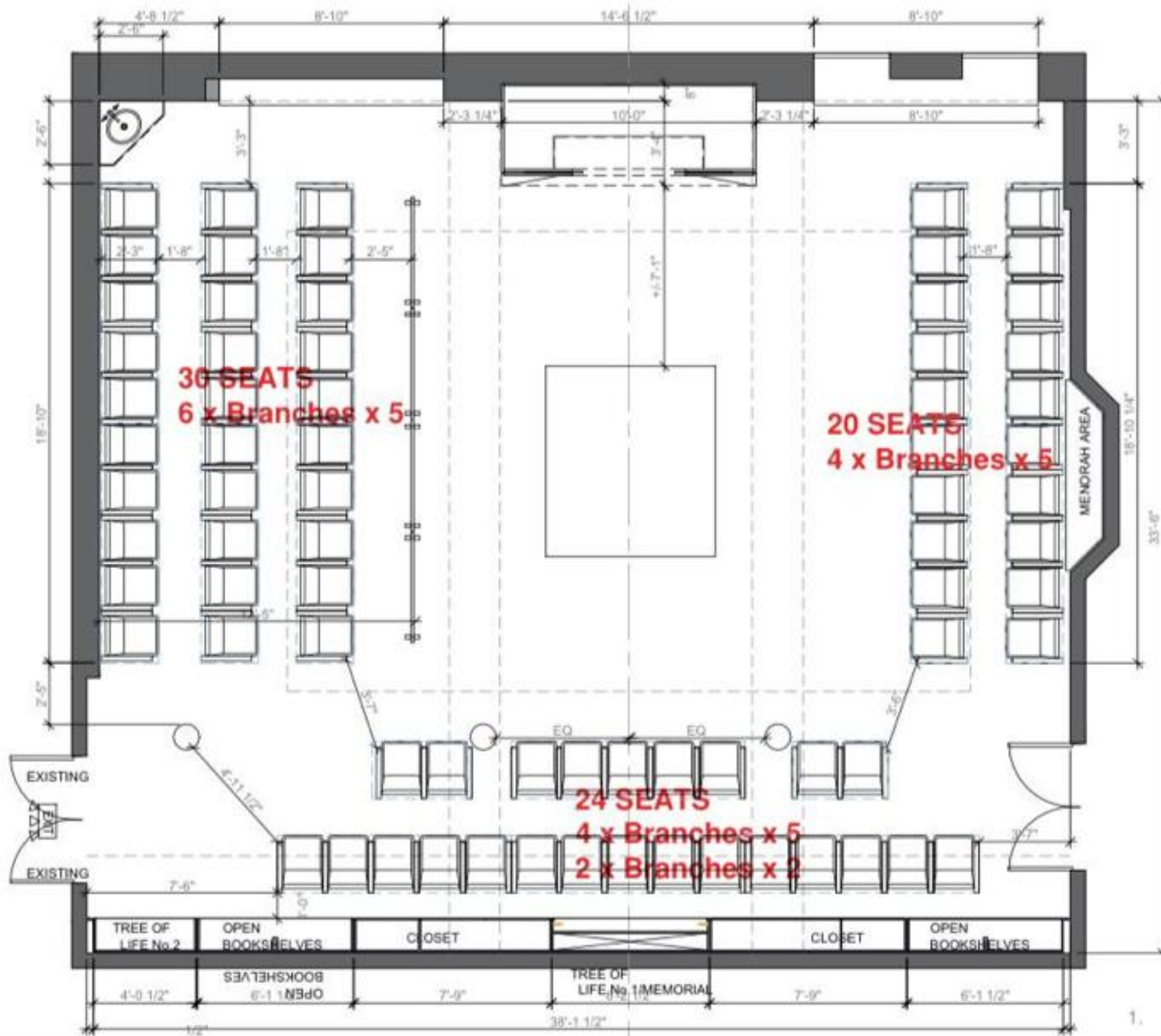
**Note: This proposal may be withdrawn by us if not accepted within 10 days, due to changes in the market
material prices. All Proposals must be signed and dated; no verbal consent will be honored.**



PLANS FOR THE NEW MAKOM

1 of 1

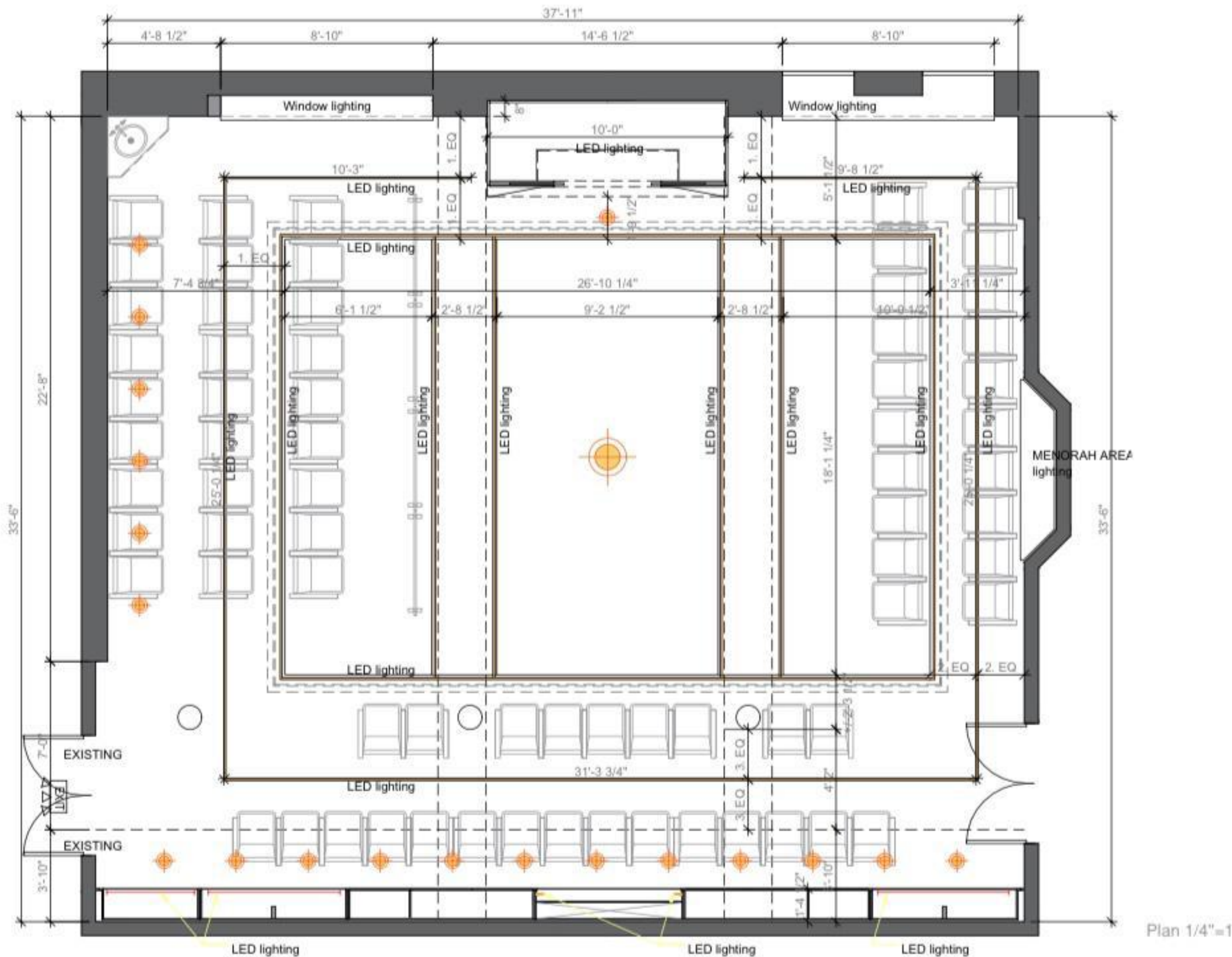




MAIN SEATS AMOUNT (74 seats):

- 20 SEATS SECTION - 4 benches 5 seats
- 24 SEATS SECTION - 4 benches 5 seats, 2 benches 2 seats
- 30 SEATS SECTION - 6 benches 5 seats

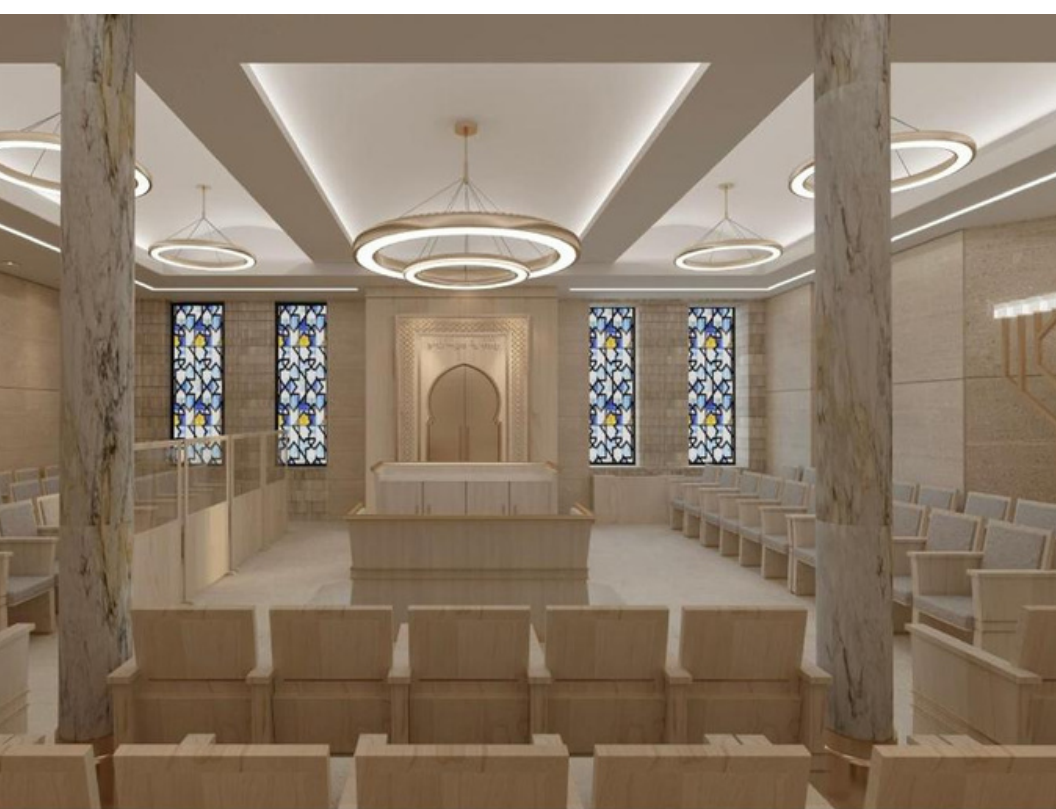
(maximum seats 96)
4x5 seats, 2x1seat



120W76th St. Synagogue

02/23/2021
03/09/2021
03/14/2021

RCP
PLAN



3D RENDERING OF THE NEW MAKOM







