

WEST SIDE INSTITUTIONAL - WEST SIDE SEPHARDIC SYNAGOGUE

NEW MAKOM FOR THE WSSS



PLAN FOR NEW CONSTRUCTION APRIL 2021





WEST SIDE INSTITUTIONAL SYNAGOGUE



MOVING OF THE PLAQUES

WEST SIDE SEPHARDIC SYNAGOGUE MEMORIAL PLATES INSTALLATION

IN MAIN SYNAGOGUE



DESIGN | JOSEPH B JOSEPH C: 646-221-9138 E: BENJBJCONCEPT@GMAIL.COM

TO DISCUSS FURTHER,
PLEASE CALL

ARI AFILALO C: 610-585-8839 E: AFILALO@GMAIL.COM

MEMORIAL PLATES INSTALLATION

IN MAIN SYNAGOGUE | TOTAL: 83 FEET

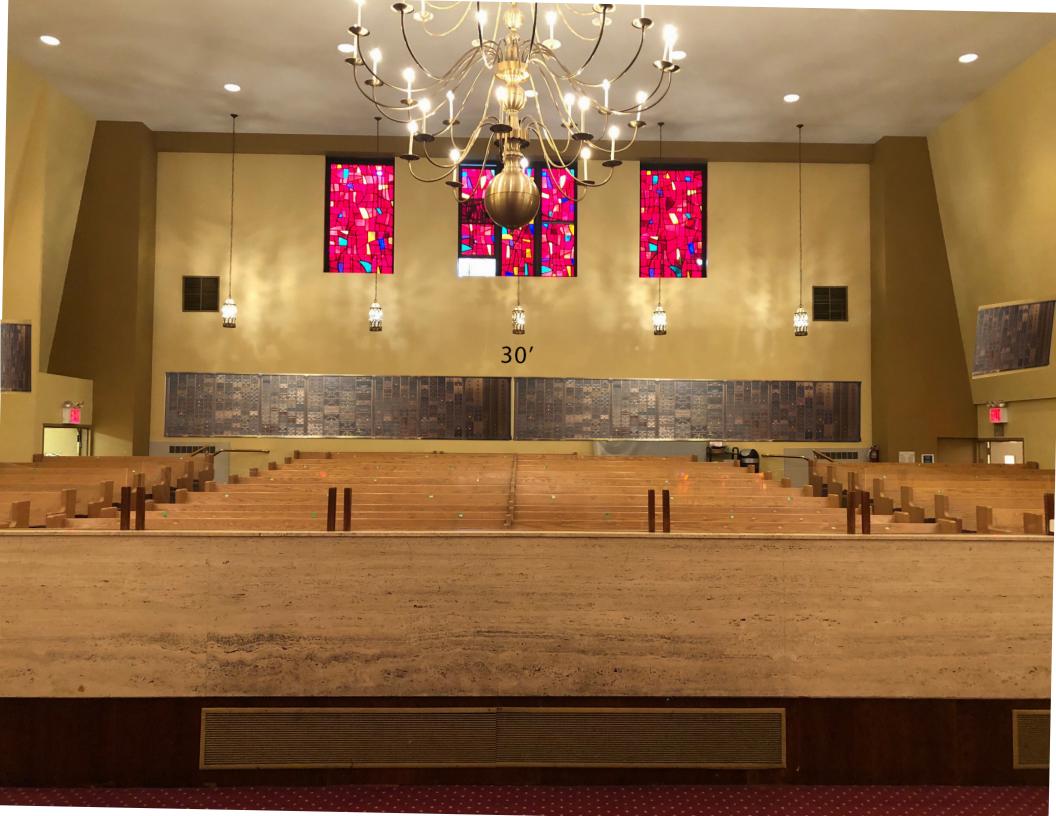
38' x 4"

22' x 4"

9'4" x 4"

4'.5" x 4"

8' x 4"





APPROVAL FROM THE LANDMARK PRESERVATION COMMISSION





Done CNE-21-06638-03032...





NDMARKS PRESERVATION COMMISSION LEGTRONIC APRICA PRESERVATION COMMISSION LEGTRONIC APRICA PRICA PRICA



1 CENTRE STREET 9TH FLOOR NORTH NEW YORK NY 10007 TEL: 212 669-7700 FAX: 212 669-7780



PERMIT CERTIFICATE OF NO EFFECT

03/03/21	EXPIRATION DATE: 3/3/2025	DOCKET #: LPC-21-06638	CNE CNE-21-06638
	ADDRESS:	BOROUGH:	BLOCK/LOT:
120 WEST	76TH STREET Apt/Floor: 01	MANHATTAN	1147 / 42
	Upper West Side/Central I	Park West Historic District	

Display This Permit While Work Is In Progress

ISSUED TO:

Ari Afilalo West Side Sephardic Synagogue 255 West 84th Street, 7C New York, NY 10024

Pursuant to Section 25-306 of the Administrative Code of the City of New York, the Landmarks Preservation Commission hereby approves certain alterations to the subject premises as proposed in your application completed on March 02, 2021.

The approved work consists of interior alterations only at the first floor, as shown on drawings A-001.00, A-002.00, and A-003.00, dated February 3, 2021; and drawings A-004.00 and A-005.00, dated October 26, 2020, and prepared by Serdar Ceylan, RA, all submitted as components of the application.

The Commission has reviewed the application and these drawings and finds that the work will have no effect on significant protected features of the building.

This permit is issued on the basis of the building and site conditions described in the application and disclosed during the review process. By accepting this permit, the applicant agrees to notify the Commission if the actual building or site conditions vary or if original or historic building fabric is discovered. The Commission reserves the right to amend or revoke this permit, upon written notice to the applicant, in the event that the actual building or site conditions are materially different from those described in the application or disclosed during the review process.

LANDMARKS PRESERVATION COMMISSION

The approved documents and referenced in the approval. Other work is limited to what is contained in the approved documents and referenced in the approval. Other work or amendments to this filing must be reviewed and approved separately. The applicant is hereby put on notice that performing or maintaining any work not explicitly authorized by this permit may make the applicant liable for criminal and/or civil penalties, including imprisonment and fine. This letter constitutes the permit; a copy must be prominently displayed at the site while work is in progress. Please direct inquiries to Stephanie Kraut.

-nul Dewell.

Sarah Carroll

Chair

PLEASE NOTE: APPROVED DOCUMENTS, DEPARTMENT OF BUIDINGS FILING DRAWINGS WHERE APPLICABLE, AND A COPY OF THIS PERMIT HAVE BEEN PROVIDED TO:

Sedar Ceylan, Sedar Ceylan Architect PC

eer Emma Waterloo Deputy Director Sodar Coylan Sodar Coylan Architect PC







1 CENTRE STREET 9TH FLOOR NORTH NEW YORK NY 10007

TEL: 212 669-7700 FAX: 212 669-7780



ISSUE DATE: 03/03/21	EXPIRATION DATE: 3/3/2025	DOCKET #: LPC-21-06638	CNE CNE-21-06638
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LANDMARKS PRESERVATION COMMISSION

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Sedar Ceylan, Sedar Ceylan Architect PC

cc: Emma Waterloo, Deputy Director; Sedar Ceylan, Sedar Ceylan Architect PC

- 1. ALL WORK AND MATERIALS FURNISHED SHALL COMPLY WITH ANY APPLICABLE FEDERAL, STATE, AND MUNICIPAL CODES AND ORDINANCES; AND THE REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, NATIONAL FIRE PROTECTION ASSOCIATION REQUIREMENTS, AND ALL FEDERAL STATE, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER THE WORK. THE BUILDING PERMIT SHALL BE SECURED BY THE GENERAL CONTRACTOR, AND HE SHALL OBTAIN ALL OTHER PERMITS AND APPROVALS AS REQUIRED BY LAW FOR THE COMPLETION OF THE WORK.
- 2. CONTRACTOR SHALL PROVIDE CONTROLLED INSPECTIONS AS REQUIRED FOR BUILDING DEPARTMENT APPROVAL. ALL CONTROLLED INSPECTIONS ARE TO BE PERFORMED BY LICENSED PROFESSIONALS AND THE COST OF THESE SERVICES IS TO BE PAID BY THE CONTRACTOR.
- 3. THE CONTRACTOR SHALL COORDINATE AND SUPERVISE THE WORK OF ALL CONTRACTORS AND SUB-CONTRACTORS. HE SHALL BE RESPONSIBLE FOR GIVING ALL TRADES SUCH INFORMATION, PLANS OR DETAILS AS MAY BE REQUIRED FOR THE PROPER INSTALLATION OF THEIR WORK. ALL MATERIALS SHALL BE ORDERED SUFFICIENTLY AHEAD OF TIME SO THAT WORK CAN PROCEED ON SCHEDULE. NO SUBSTITUTIONS WILL BE ACCEPTED BECAUSE OF FAILURE TO DO SO.
- 4. THE CONTRACTOR SHALL KEEP THE ARCHITECT INFORMED OF THE PROGRESS OF HIS WORK. NO WORK SHALL BE CLOSED OR COVERED UNTIL IT HAS BEEN DULY INSPECTED AND APPROVED. SHOULD UN-INSPECTED WORK BE COVERED THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, UNCOVER ALL SUCH WORK SO THAT IT CAN BE PROPERLY INSPECTED AND AFTER SUCH INSPECTION, HE SHALL PROPERLY REPAIR AND REPLACE ALL WORK INTERFERED WITH.
- 5. ALL WORK SHALL BE SUBJECT TO FINAL INSPECTION BY THE ARCHITECT, THE AUTHORITY HAVING JURISDICTION AND ACCEPTANCE BY THE OWNER.
- 6. PROTECT OWNER'S PROPERTY, EQUIPMENT, AND EMPLOYEES FROM INJURY OR DAMAGE AT THE PROJECT SITE.
- 7. THE CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSURANCE IN ACCORDANCE WITH BUILDING REQUIREMENTS AND SHALL INCLUDE A HOLD HARMLESS CLAUSE FOR THE OWNER, BUILDING MANAGEMENT, TENANT, AND ARCHITECT.
- 8. ALL ELECTRICAL OUTLETS TO MEET ALL REQUIREMENTS OF THE NYC ELECTRICAL CODE
- 9. DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOT CREATE ANY DUST OR DISTURBANCE FOR ANY OF THE OTHER RESIDENTS ON THE FLOOR OR IN THE BUILDING.
- 10. UPON COMPLETION OF THIS PROJECT, THE ARCHITE4CT SHALL FURNISH, TO THE BUILDING
- MANAGEMENT, COPIES OF ALL SIGN OFFS FROM THE DEPARTMENT OF BUILDINGS AND ALL OTHER AGENCIES WITH WHOM THE PROJECT IS FILED.
- 11. DRAWINGS MAY BE ROUGH SCALED FOR ESTIMATING AND GENERAL REFERENCE. FOR ALL OTHER DIMENSIONS OR LOCATIONS CONSULT WITH THE ARCHITECT AND/OR FIELD VERIFY ALL DIMENSIONS.

01 GENERAL NOTES

COMBUSTIBLE WASTE MATERIAL OR COMBUSTIBLE DEBRIS SHALL NOT BE PERMITTED TO ACCUMULATE, AND SHALL BE REMOVED FROM THE SITE AT REASONABLE INTERVALS, IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DEPARTMENT.

NO MATERIAL SHALL BE DROPPED OR THROWN OUTSIDE THE EXTERIOR WALLS OF A BUILDING.

PRECAUTIONS SHALL BE TAKEN TO PREVENT CONCRETE OR MORTAR WASHINGS, SAND, GRIT, OR ANY OTHER MATERIAL THAT WOULD CAUSE CLOGGING FROM ENTERING A SEWER OR DRAIN.

DEBRIS, BRICKS, AND SIMILAR MATERIAL SHALL BE REMOVED BY MEANS OF CHUTES, BUCKETS, OR HOISTS OR THROUGH OPENINGS IN THE FLOORS OF THE STRUCTURE. EVERY OPENING USED FOR THE REMOVAL OF DEBRIS IN EVERY FLOOR EXCEPT THE TOP OR

WORKING FLOOR, SHALL BE PROVIDED WITH A TIGHT ENCLOSURE FROM FLOOR TO FLOOR, EQUIVALENT TO THAT AFFORDED BY PLANKING NOT LESS THAN TWO INCHES IN THICKNESS. WHEREVER SUCH COVERING HAS BEEN TEMPORARILY REMOVED TO PERMIT DEBRIS REMOVAL

FLOOR OPENINGS SHALL BE PROTECTED BY STANDARD GUARD RAILS OR RAILINGS. SUCH COVERING SHALL BE PROMPTLY REPLACED IN POSITION UPON THE CEASING OF SUCH WORK AT THE END OF EACH WORK DAY.

DUST PRODUCING OPERATIONS SHALL BE WETTED DOWN TO THE EXTENT NECESSARY TO LAY THE DUST.

THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS SHOWN OR NOTED ON THESE CONSTRUCTION DRAWINGS.

THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE TENANT AND THE BUILDING OWNER INCLUDING BUT NOT LIMITED TO WINDOW, FLOOR AND CEILING TILE, PUBLIC TOILETS. ELEVATORS, DOORS, BUCKS, ELECTRICAL, FIRE ALARM SYSTEM AND AIR CONDITIONING EQUIPMENT, CONVECTOR ENCLOSURES

THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGH OUT THE SPACE UNDER CONSTRUCTION, AS REQUIRED.

BUILDING STANDARD LIGHTING FIXTURES, DOORS BUCKS, HARDWARE, PLUMBING FIXTURES, PIPES, SWITCHES AND OTHER ITEMS WHICH ARE NOT TO BE REUSED BY TENANT IN THE NEW CONSTRUCTION AND ARE SALVAGEABLE, SHALL BE RETURNED TO THE BUILDING UPON REQUEST. ALL ITEMS NOT REUSED OR RETURNED TO THE BUILDING SHALL BE REMOVED FROM THE PREMISES.

THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, ELECTRICAL OUTLETS, TELEPHONE/SIGNAL OUTLETS. CEILING TILES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE, OR ELECTRICAL WIRING AND EQUIPMENT BACK TO THE ELECTRICAL AND TELEPHONE CLOSETS.

- THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING FLOORING AND BASE, U.O.N.
- IN ALL AREAS WHERE DEMOLITION (REMOVAL OF CARPETING, TACKLESS, PARTITIONS, ETC.) CAUSES AN UNEVENNESS IN SLAB, THE CONTRACTOR SHALL PATCH TO LEVEL THE SLAB.

THE GENERAL CONTRACTOR SHALL CAP AND REMOVE BACK TO SOURCE ALL PROJECTING FLOOR ELECTRICAL OUTLETS/TELEPHONE OUTLETS, AND ALL OTHERS, ETC.

ALL EXISTING OUTLETS TO BE REMOVED UNLESS OTHERWISE NOTED. ALL ELECTRICAL AND TELECOMMUNICATIONS WIRING SHALL BE REMOVED BY GENERAL CONTRACTOR: TO PERMIT INSTALLATION OF NEW OUTLETS.

ALL DEMOLITION AND RUBBISH REMOVAL MUST BE DONE AT THE DISCRETION OF THE BUILDING MANAGER. ELEVATOR SERVICE TO BE ARRANGED WITH THE BUILDING MANAGER.

ALL WORK SHALL BE UNDER THE COMPLETE SUPERVISION OF A GENERAL CONTRACTOR.

ALL DELIVERIES OF CONSTRUCTION MATERIALS ARE TO BE MADE AT THE DISCRETION OF

BUILDING MANAGER. WHEN CONSTRUCTION MATERIALS, DEBRIS OR EQUIPMENT IS DELIVERED OR REMOVED FROM THE JOB SITE, ALL BUILDING CORRIDORS, ELEVATORS AND THE LOADING PLATFORM SHALL BE CLEANED AFTER WORK FROM THE DELIVERY IS COMPLETE.

WHEN DEMOLITION OR CONSTRUCTION IS IN PROGRESS, EVERY PRECAUTION SHALL BE TAKEN TO PREVENT ANY DUST AND/OR ODORS FROM ESCAPING TO ADJACENT TENANT AREAS OR BUILDING CORRIDORS. ADJ. PSACES MUST BE CLEANED DAILY

ALL TRADESMEN SHALL USE THE BUILDING FREIGHT SERVICE CAR ONLY FOR INGRESS AND EGRESS TO THE JOB SITE UNLESS OTHERWISE DIRECTED.

NO CONTRACTOR OR SUBCONTRACTOR WILL BE ALLOWED TO ENTER THE BUILDING UNTIL A CLEARANCE IS OBTAINED FROM THE BUILDING MANAGER.

THE PUBLIC CORRIDORS WILL BE PROTECTED BY THE LAYING OF THISTLE KRAFT PAPER AND TAPED DOWN, TO THE SATISFACTION OF THE BUILDING MANAGER AND THEREAFTER, MAINTAINED IN A CLEAN AND SAFE CONDITION FOR THE DURATION OF CONSTRUCTION. CONTRACTOR WILL KEEP A SMALL PIECE OF DAMP CARPET AT THE SITE ENTRANCE TO CLEAN DIRT FROM SHOES.

ALL ITEMS NOTED FOR REMOVAL AND REUSED ARE TO BE STORED IN A SAFE, SECURED AREA FOR NEW TENANT FIT-UP WORK.

COPIES OF ANY CERTIFICATES OF COMPLIANCE REQUIRED BY THE NEW YORK CITY DEPARTMENT OF BUILDINGS AND BOARD OF FIRE UNDERWRITERS OR OTHER AUTHORITIES HAVING JURISDICTION, SHALL BE FORWARD TO THE BUILDING UPON COMPLETION OF WORK.

_ANDMARKARRESERVATION COMMISSION ELECTRONIC APPROVAL - 03/03/2021 - SK

02 REMOVAL OF MATERIAL NOTES

NEW YORK CITY ADMINISTRATIVE CODE 28-104.8.4 - TENANT PROTECTION PLAN

§ 28-104.8.4 TENANT PROTECTION PLAN. CONSTRUCTION DOCUMENTS FOR ALTERATIONS OF

WHICH ANY DWELLING UNIT WILL BE OCCUPIED DURING CONSTRUCTION SHALL INCLUDE A TENANT PROTECTION PLAN. SUCH PLAN SHALL CONTAIN A STATEMENT THAT THE BUILDING CONTAINS DWELLING UNITS THAT WILL BE OCCUPIED DURING CONSTRUCTION AND SHALL INDICATE IN SUFFICIENT DETAIL THE SPECIFIC UNITS THAT ARE OR MAY BE OCCUPIED DURING CONSTRUCTION, THE MEANS AND METHODS TO BE EMPLOYED TO SAFEGUARD THE SAFETY AND HEALTH OF THE OCCUPANTS THROUGHOUT THE CONSTRUCTION. INCLUDING. WHERE APPLICABLE. DETAILS SUCH AS TEMPORARY FIRE-RATED ASSEMBLIES, OPENING PROTECTIVE, OR DUST CONTAINMENT PROCEDURES. SUCH MEANS AND METHODS SHALL DESCRIBED WITH PARTICULARITY AND IN NO CASE SHALL TERMS SUCH AS "CODE COMPLIANT," "APPROVED," "LEGAL," "PROTECTED IN ACCORDANCE WITH LAW" OR SIMILAR TERMS BE USED AS A SUBSTITUTE FOR SUCH DESCRIPTION. THE ELEMENTS OF THE TENANT PROTECTION PLAN MAY VARY DEPENDING ON THE NATURE AND SCOPE OF THE WORK BUT AT A MINIMUM SHALL MAKE DETAILED AND SPECIFIC PROVISIONS FOR:

1. EGRESS. AT ALL TIMES IN THE COURSE OF CONSTRUCTION PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY THIS CODE AND THE TENANT PROTECTION PLAN SHALL IDENTIFY THE EGRESS THAT WILL BE PROVIDED. REQUIRED EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME EXCEPT WHERE APPROVED BY THE COMMISSIONER.

FIRE SAFETY. ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS. AS WELL ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY OBSERVED.

3. HEALTH REQUIREMENTS. SPECIFICATION OF MEANS AND METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL AND MAINTENANCE OF SANITARY FACILITIES, AND LIMITATION OF NOISE TO ACCEPTABLE LEVELS SHALL BE INCLUDED.

3.1. THERE SHALL BE INCLUDED A STATEMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW RELATING TO LEAD AND ASBESTOS, AND SUCH STATEMENT SHALL DESCRIBE WITH PARTICULARITY WHAT MEANS AND METHODS ARE BEING UNDERTAKEN TO MEET SUCH COMPLIANCE.

4. COMPLIANCE WITH HOUSING STANDARDS. THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE, AND, WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.

STRUCTURAL SAFETY. NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE OCCUPANTS.

6. NOISE RESTRICTIONS. WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED PURSUANT TO THE NEW YORK CITY NOISE CONTROL CODE, SUCH LIMITATIONS SHALL BE STATED.

MAINTAINING ESSENTIAL SERVICES. WHERE HEAT, HOT WATER, COLD WATER, GAS, ELECTRICITY, OR OTHER UTILITY SERVICES ARE PROVIDED IN SUCH BUILDING OR IN ANY DWELLING UNIT LOCATED THEREIN, THE TENANT PROTECTION PLAN SHALL SPECIFY THE MEANS AND METHODS TO BE USED FOR MAINTAINING SUCH SERVICES DURING SUCH WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE. IF A DISRUPTION OF ANY SUCH SERVICE IS ANTICIPATED DURING THE WORK, THEN SUCH PLAN SHALL SPECIFY THE ANTICIPATED DURATION OF SUCH DISRUPTION AND THE MEANS AND METHODS TO BE EMPLOYED TO MINIMIZE SUCH DISRUPTION. INCLUDING THE PROVISION OF SUFFICIENT ALTERNATIVES FOR SUCH SERVICE DURING SUCH DISRUPTION.

§ 28-104.8.4.1 PUBLIC AVAILABILITY OF TENANT PROTECTION PLAN. UPON ISSUANCE OF A PERMIT FOR WORK CONTAINING A TENANT PROTECTION PLAN, THE DEPARTMENT SHALL MAKE THE TENANT PROTECTION PLAN PUBLICLY AVAILABLE ON ITS WEBSITE.

§ 28-104.8.4.2 PROVISION OF COPY OF TENANT PROTECTION PLAN TO OCCUPANTS UPON REQUEST. THE OWNER OF A BUILDING UNDERGOING WORK FOR WHICH A TENANT PROTECTION PLAN IS REQUIRED BY SECTION 28-104.8.4 SHALL, UPON REQUEST FROM AN OCCUPANT OF A DWELLING UNIT WITHIN SUCH BUILDING, PROVIDE SUCH OCCUPANT WITH A PAPER COPY OF THE TENANT PROTECTION PLAN APPROVED BY THE

§ 28-104.8.4.3 NOTICE TO OCCUPANTS. UPON ISSUANCE OF A PERMIT FOR WORK CONTAINING A TENANT PROTECTION PLAN, THE OWNER SHALL (I) DISTRIBUTE A NOTICE REGARDING SUCH PLAN TO 3 DWELLING UNIT OR (II) POST A NOTICE REGARDING SUCH PLAN IN A CONSPICUOUS MANNER IN THE

BUILDING LOBBY, AS WELL AS ON EACH FLOOR WITHIN TEN FEET OF THE ELEVATOR, OR IN A BUILDING WHERE THERE IS NO ELEVATOR, WITHIN TEN FEET OF OR IN THE MAIN STAIRWELL ON SUCH FLOOR. THE NOTICE SHALL BE IN A FORM CREATED OR APPROVED BY THE DEPARTMENT AND SHALL INCLUDE:

A STATEMENT THAT OCCUPANTS OF THE BUILDING MAY OBTAIN A PAPER COPY OF SUCH PLAN FROM THE OWNER AND MAY ACCESS SUCH PLAN ON THE DEPARTMENT WEBSITE;

2. THE NAME AND CONTACT INFORMATION FOR THE SITE SAFETY MANAGER, SITE SAFETY COORDINATOR OR SUPERINTENDENT OF CONSTRUCTION REQUIRED BY SECTION 3301.3 OF THE NEW YORK CITY BUILDING CODE, AS APPLICABLE, OR, IF THERE IS NO SITE SAFETY MANAGER, SITE SAFETY COORDINATOR OR SUPERINTENDENT OF CONSTRUCTION, THE NAME AND CONTACT INFORMATION OF THE BUILDING OR SUCH OWNER'S DESIGNEE; AND

3. A STATEMENT THAT OCCUPANTS OF THE BUILDING MAY CALL 311 TO MAKE COMPLAINTS ABOUT WORK.

§ 2. SECTION BC 110 OF THE BUILDING CODE OF THE CITY OF NEW YORK IS AMENDED BY ADDING A NEW SECTION 110.3.7 TO READ AS FOLLOWS: 110.3.7 TENANT PROTECTION PLAN COMPLIANCE INSPECTIONS. FOR BUILDINGS UNDERGOING WORK FOR WHICH A TENANT PROTECTION PLAN IS REQUIRED BY SECTION 28-104.8.4 OF THE ADMINISTRATIVE CODE, INSPECTIONS SHALL BE MADE BY THE DEPARTMENT TO DETERMINE COMPLIANCE WITH THE TENANT PROTECTION PLAN

IT IS THE OWNER AND / OR THE CONTRACTOR'S RESPONSIBILITY TO INFORM THE ARCHITECT OR PROFESSIONAL ENGINEER OF RECORD 24 HOURS PRIOR TO PERFORM THE FOLLOWING INSPECTIONS:

1. IF ARCHITECT / ENGINEER HAS NOT BEEN RETAINED TO PERFORM ANY OF THE SPECIAL INSPECTIONS. THE GENERAL CONTRACTOR TO RETAIN LICENSED ARCHITECT AND OR PROFESSIONAL ENGINEER TO PERFORM THESE INSPECTIONS PLUS ANY ADDITIONAL SPECIAL INSPECTIONS AS REQUESTED BY THE DEPARTMENT OF BUILDINGS. APPLICANT HAS NOT BEEN RETAINED FOR FIELD SUPERVISION OR TO PERFORM CONTROLLED 2. THE FOLLOWING REQUIREMENTS ARE NECESSARY PRIOR TO COMMENCEMENT OF CONSTRUCTION AND OBTAINING A FINAL CERTIFICATE OF

OCCUPANCY. THESE ARE NOT FINAL AND SUBJECT TO ANY ADDITIONAL REQUIREMENTS AS REQUESTED BY THE NEW YORK CITY BUILDING

3. GENERAL CONTRACTOR TO INCLUDE IN HIS BID ALL RELATED COSTS INCLUDING BUT NOT LIMITED TO; AIR BALANCE; CONTROLLED/ SPECIAL INSPECTIONS, AND ALL TESTING LABORATORY FEES.

ENERGY CODE COMPLIANCE NOTE:

06 | SPECIAL INSPECTION ITEMS & PROGESS INSPECTIONS

- TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK CITY CHAPTER C4, C5, 2020 COMMISSIONING IS NOT REQUIRED FOR THIS PROJECT
- ALL OPERATING AND MAINTENANCE MANUALS SHALL BE PROVIDED TO THE BUILDING OWNER BY THE MECHANICAL CONTRACTOR
- THERE IS NO CHANGE OF THE ENERGY USAGE OF THE BUILDING UNDER THIS APPLICATION AND THEREFORE NO TR8 IS BEING SUBBMITED

DIRECTIVE 14 OF 1975 AND 1 RCNY § 101-10

112' P.L.

LOT: 43

SYNAGOGUE

EXIST. 3-STORY

BRICK BLDG.

07 | PROPERTY INFORMATION

TO BE REMOVED - SEE DEMOLITION PLAN

PROPERTY LOCATION

SCOPE OF WORK:

APPLICATION FILED FOR MINOR INTERIOR RENOVATION OF

APPLICATION FILED DOES NOT CONSTITUTE ANY CHANGE IN

USE, FLOOR AREA, EGRESS OR OCCUPANCY. THEREFORE, NO

MAP: 8c

MIX. USE. BLDG - 2016

DESCRIPTION

EXISTING FLOOR PLAN

DEMOLITION FLOOR PLAN

PROPOSED FLOOR PLAN REFLECTED CEILING PLAN

2HR RATED

SITE PLAN, PROJECT INFORMATION,

GENERAL NOTES, ENERGY STATEMENT

LANDMARK PRÉSERVERTION TOM TOM MISSION

ELECTRONIC APPROVAL NY 03/03/2021 - SK

ZONING CALCULATION IS REQUIRED.

OCCUPANCY CLASSIFICATION:

CONSTRUCTION CLASSIFICATION:

ZONE: R8B

EXISTING SYNAGOGUE.

DRAWING No:

A-001

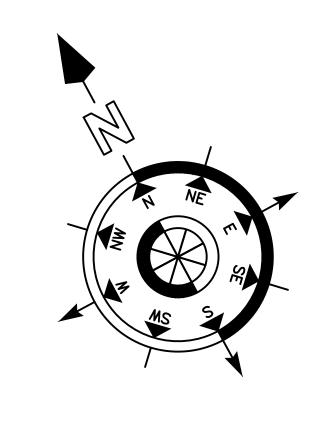
A-002

A-003

EXISTING WALLS / PARTITIONS TO REMAIN

NEW PARTITION WALL/SEE WALL TYPES

08 LEGEND



REMARKS

PROJECT ADDRESS:

7

0

120 WEST 76TH STREET, NY, NY 10023

DRAWING TITLE: BUILDING INFORMATION, GENERAL NOTES, LEGEND,

SITE PLAN AND SPECIAL INSPECTIONS

JOB DESCRIPTION:

MINOR INTERIOR RENOVATION OF EXIST. SYNAGOGUE.

SERDAR CEYLAN ARCHITECT, P.C. 267 5TH AVENUE, NEW YORK NY 10016, #410

TEL: 646-441-8224 serdarceylan@hotmail.com



,DATE: 02/03/202 DRAWING BY: AS NOTE

SCALE: 3/16"=1'-0"

04 ZONING MAP

SYNAGOGUE EXIST. 6-STORY BRICK BLDG. 0

225.08′ P.L.

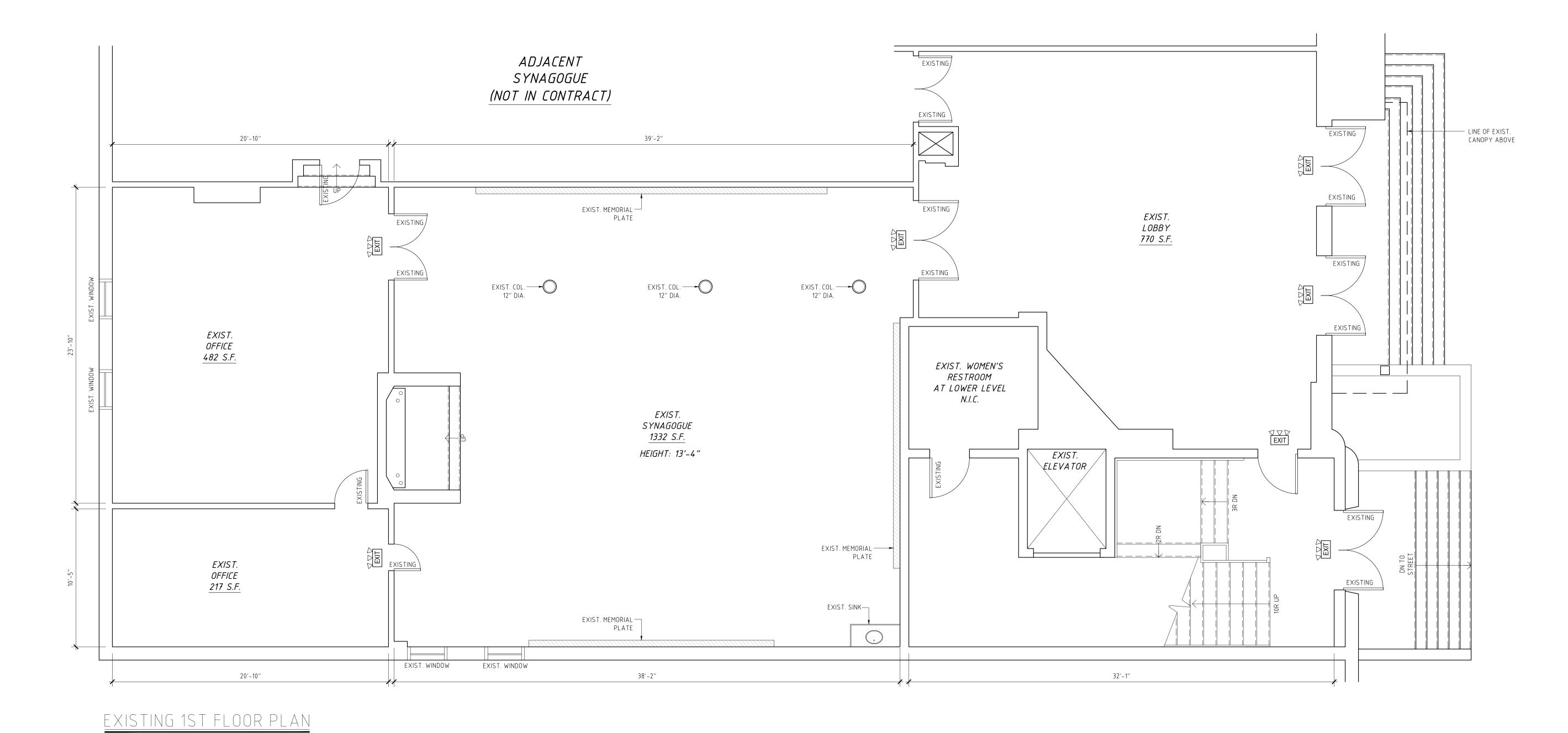
225.08′ P.L.

WEST 76TH STREET.

03 | TENANT PROTECTION PLAN NOTES/CODE 28-104.8.4

05 | SITE PLAN

DOB STICKER



DATE REMARKS

PROJECT ADDRESS: 120 WEST 76TH STREET, NY, NY 10023

DRAWING TITLE:

EXISTING PARTIAL 1ST FLOOR PLAN

JOB DESCRIPTION: MINOR INTERIOR RENOVATION OF EXIST. SYNAGOGUE.

SERDAR CEYLAN ARCHITECT, P.C. 267 5TH AVENUE, NEW YORK NY 10016, #410

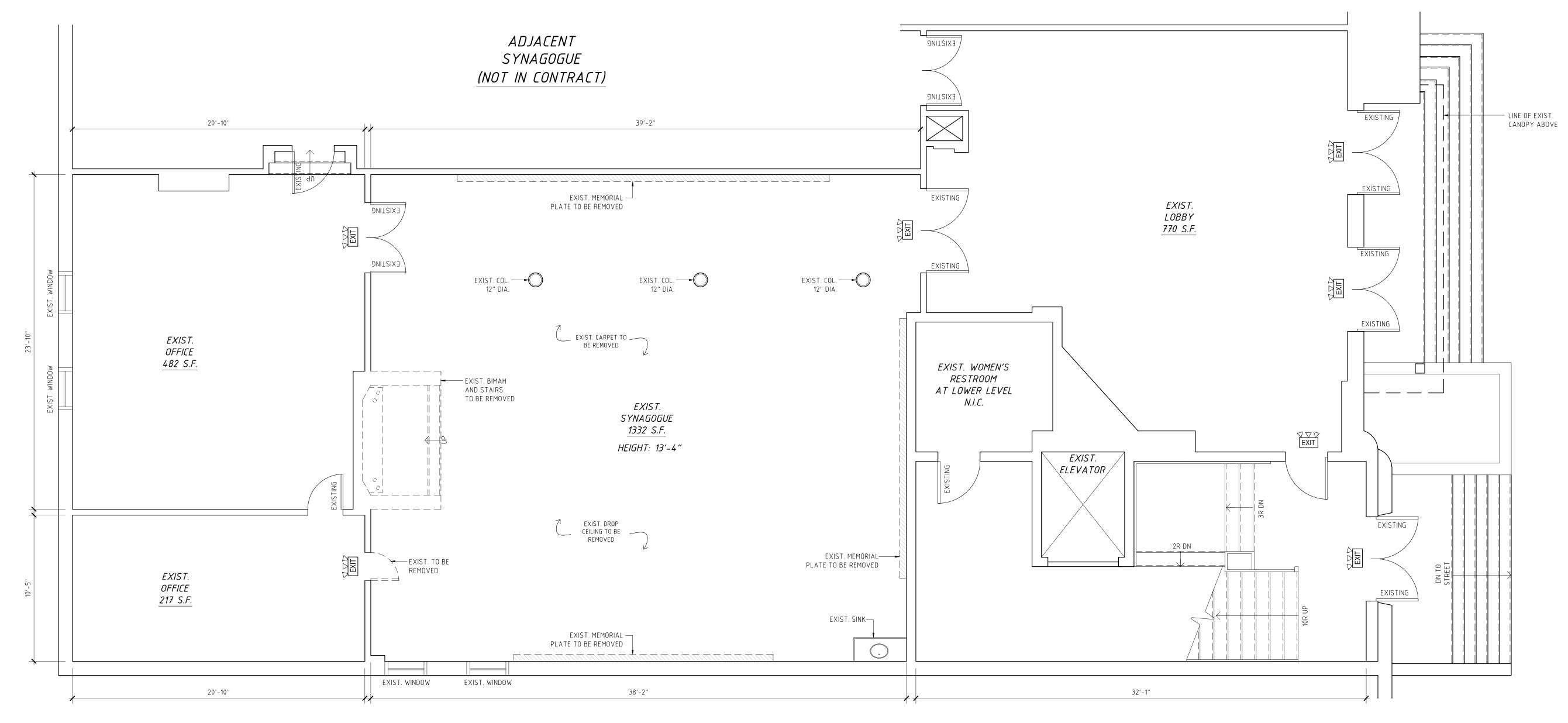
TEL: 646-441-8224 serdarceylan@hotmail.com

SEAL & SIGNATURE DATE: 02/03/2021 DRAWING BY: T.Z. SCALE: AS NOTED

A-002.00

LANDMARK PRESERVATION COMMISSION ELECTRONIC APPROVAL - 03/03/2021 - SK

DOB STICKER



DEMOLITION 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

REMOVAL OF MATERIAL NOTES:

COMBUSTIBLE WASTE MATERIAL OR COMBUSTIBLE DEBRIS SHALL NOT BE PERMITTED TO ACCUMULATE, AND SHALL BE REMOVED FROM THE SITE AT REASONABLE INTERVALS, IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DEPARTMENT.

NO MATERIAL SHALL BE DROPPED OR THROWN OUTSIDE THE EXTERIOR WALLS OF A BUILDING.

PRECAUTIONS SHALL BE TAKEN TO PREVENT CONCRETE OR MORTAR WASHINGS, SAND, GRIT,

DEBRIS, BRICKS, AND SIMILAR MATERIAL SHALL BE REMOVED BY MEANS OF CHUTES, BUCKETS, OR HOISTS OR THROUGH OPENINGS IN THE FLOORS OF THE STRUCTURE.

OR ANY OTHER MATERIAL THAT WOULD CAUSE CLOGGING FROM ENTERING A SEWER OR DRAIN.

EVERY OPENING USED FOR THE REMOVAL OF DEBRIS IN EVERY FLOOR EXCEPT THE TOP OR WORKING FLOOR, SHALL BE PROVIDED WITH A TIGHT ENCLOSURE FROM FLOOR TO FLOOR,

EQUIVALENT TO THAT AFFORDED BY PLANKING NOT LESS THAN TWO INCHES IN THICKNESS.

WHEREVER SUCH COVERING HAS BEEN TEMPORARILY REMOVED TO PERMIT DEBRIS REMOVAL FLOOR OPENINGS SHALL BE PROTECTED BY STANDARD GUARD RAILS OR RAILINGS. SUCH COVERING SHALL BE PROMPTLY REPLACED IN POSITION UPON THE CEASING OF SUCH WORK AT THE END OF EACH WORK DAY.

DUST PRODUCING OPERATIONS SHALL BE WETTED DOWN TO THE EXTENT NECESSARY TO LAY THE DUST.

THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS SHOWN OR NOTED ON THESE CONSTRUCTION DRAWINGS.

THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE TENANT AND THE BUILDING OWNER INCLUDING BUT NOT LIMITED TO WINDOW, FLOOR AND CEILING TILE, PUBLIC TOILETS, ELEVATORS, DOORS, BUCKS, ELECTRICAL, FIRE ALARM SYSTEM AND AIR CONDITIONING EQUIPMENT, CONVECTOR ENCLOSURES

THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGH OUT THE SPACE UNDER CONSTRUCTION, AS REQUIRED.

BUILDING STANDARD LIGHTING FIXTURES, DOORS BUCKS, HARDWARE, PLUMBING FIXTURES, PIPES, SWITCHES AND OTHER ITEMS WHICH ARE NOT TO BE REUSED BY TENANT IN THE NEW CONSTRUCTION AND ARE SALVAGEABLE, SHALL BE RETURNED TO THE BUILDING UPON REQUEST. ALL ITEMS NOT REUSED OR RETURNED TO THE BUILDING SHALL BE REMOVED FROM THE PREMISES.

THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, ELECTRICAL OUTLETS, TELEPHONE/SIGNAL OUTLETS, CEILING TILES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE, OR ELECTRICAL WIRING AND EQUIPMENT BACK TO THE ELECTRICAL AND TELEPHONE CLOSETS.

THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING FLOORING AND BASE, U.O.N.

IN ALL AREAS WHERE DEMOLITION (REMOVAL OF CARPETING, TACKLESS, PARTITIONS, ETC.) CAUSES AN UNEVENNESS IN SLAB, THE CONTRACTOR SHALL PATCH TO LEVEL THE SLAB.

THE GENERAL CONTRACTOR SHALL CAP AND REMOVE BACK TO SOURCE ALL PROJECTING FLOOR ELECTRICAL OUTLETS/TELEPHONE OUTLETS, AND ALL OTHERS, ETC.

ALL EXISTING OUTLETS TO BE REMOVED UNLESS OTHERWISE NOTED. ALL ELECTRICAL AND TELECOMMUNICATIONS WIRING SHALL BE REMOVED BY GENERAL CONTRACTOR: TO PERMIT INSTALLATION OF NEW OUTLETS.

ALL DEMOLITION AND RUBBISH REMOVAL MUST BE DONE AT THE DISCRETION OF THE BUILDING MANAGER. ELEVATOR SERVICE TO BE ARRANGED WITH THE BUILDING MANAGER.

ALL WORK SHALL BE UNDER THE COMPLETE SUPERVISION OF A GENERAL CONTRACTOR.

ALL DELIVERIES OF CONSTRUCTION MATERIALS ARE TO BE MADE AT THE DISCRETION OF BUILDING MANAGER. WHEN CONSTRUCTION MATERIALS, DEBRIS OR EQUIPMENT IS DELIVERED OR REMOVED FROM THE JOB SITE, ALL BUILDING CORRIDORS, ELEVATORS AND THE LOADING PLATFORM SHALL BE CLEANED AFTER WORK FROM THE DELIVERY IS COMPLETE.

WHEN DEMOLITION OR CONSTRUCTION IS IN PROGRESS, EVERY PRECAUTION SHALL BE TAKEN TO PREVENT ANY DUST AND/OR ODORS FROM ESCAPING TO ADJACENT TENANT AREAS OR BUILDING CORRIDORS. ADJ. PSACES MUST BE CLEANED DAILY

ALL TRADESMEN SHALL USE THE BUILDING FREIGHT SERVICE CAR ONLY FOR INGRESS AND EGRESS TO THE JOB SITE UNLESS OTHERWISE DIRECTED.

NO CONTRACTOR OR SUBCONTRACTOR WILL BE ALLOWED TO ENTER THE BUILDING UNTIL A CLEARANCE IS OBTAINED FROM THE BUILDING MANAGER.

THE PUBLIC CORRIDORS WILL BE PROTECTED BY THE LAYING OF THISTLE KRAFT PAPER AND TAPED DOWN, TO THE SATISFACTION OF THE BUILDING MANAGER AND THEREAFTER, MAINTAINED IN A CLEAN AND SAFE CONDITION FOR THE DURATION OF CONSTRUCTION. CONTRACTOR WILL KEEP A SMALL PIECE OF DAMP CARPET AT THE SITE ENTRANCE TO CLEAN DIRT FROM SHOES.

ALL ITEMS NOTED FOR REMOVAL AND REUSED ARE TO BE STORED IN A SAFE, SECURED AREA FOR NEW TENANT FIT-UP WORK.

COPIES OF ANY CERTIFICATES OF COMPLIANCE REQUIRED BY THE NEW YORK CITY DEPARTMENT OF BUILDINGS AND BOARD OF FIRE UNDERWRITERS OR OTHER AUTHORITIES HAVING JURISDICTION, SHALL BE FORWARD TO THE BUILDING UPON COMPLETION OF WORK.

THE CONSTRUCTION AREA AND HALLWAYS WILL BE KEPT BROOMCLEAN AT ALL TIMES.

THE APPROVED SET OF DOCUMENTS SHALL BE KEPT AT THE SITE AT ALL TIMES AND BE ACCESSIBLE FOR INSPECTION

DATE No REMARKS

PROJECT ADDRESS:

120 WEST 76TH STREET, NY, NY 10023

DRAWING TITLE:

PARTIAL 1ST FLOOR PLAN- DEMO

JOB DESCRIPTION:

MINOR INTERIOR RENOVATION OF EXIST. SYNAGOGUE.

SERDAR CEYLAN ARCHITECT, P.C. 267 5TH AVENUE, NEW YORK NY 10016, #410

TEL: 646-441-8224 serdarceylan@hotmail.com



DATE: 02/03/2021

DRAWING BY: T.Z.

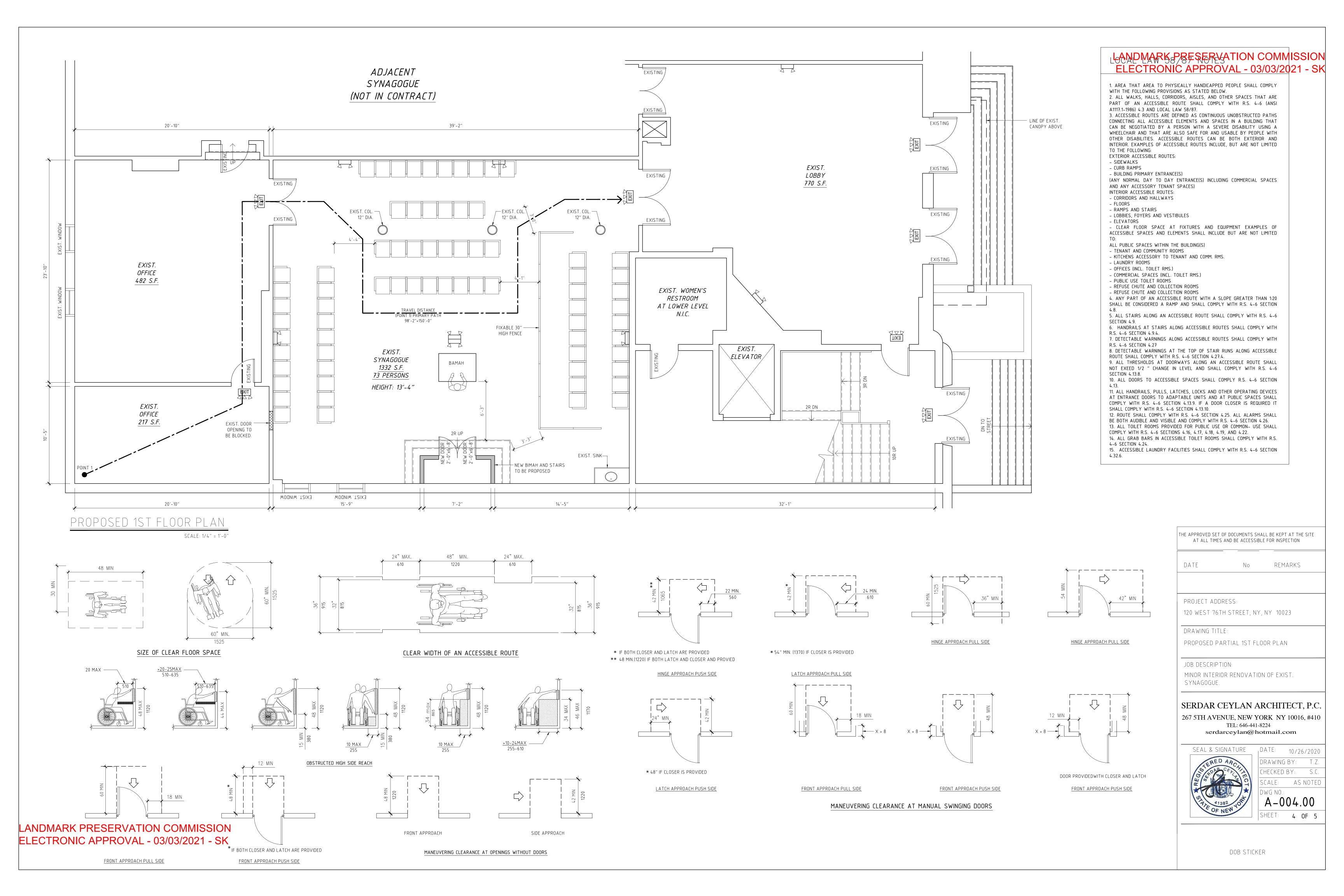
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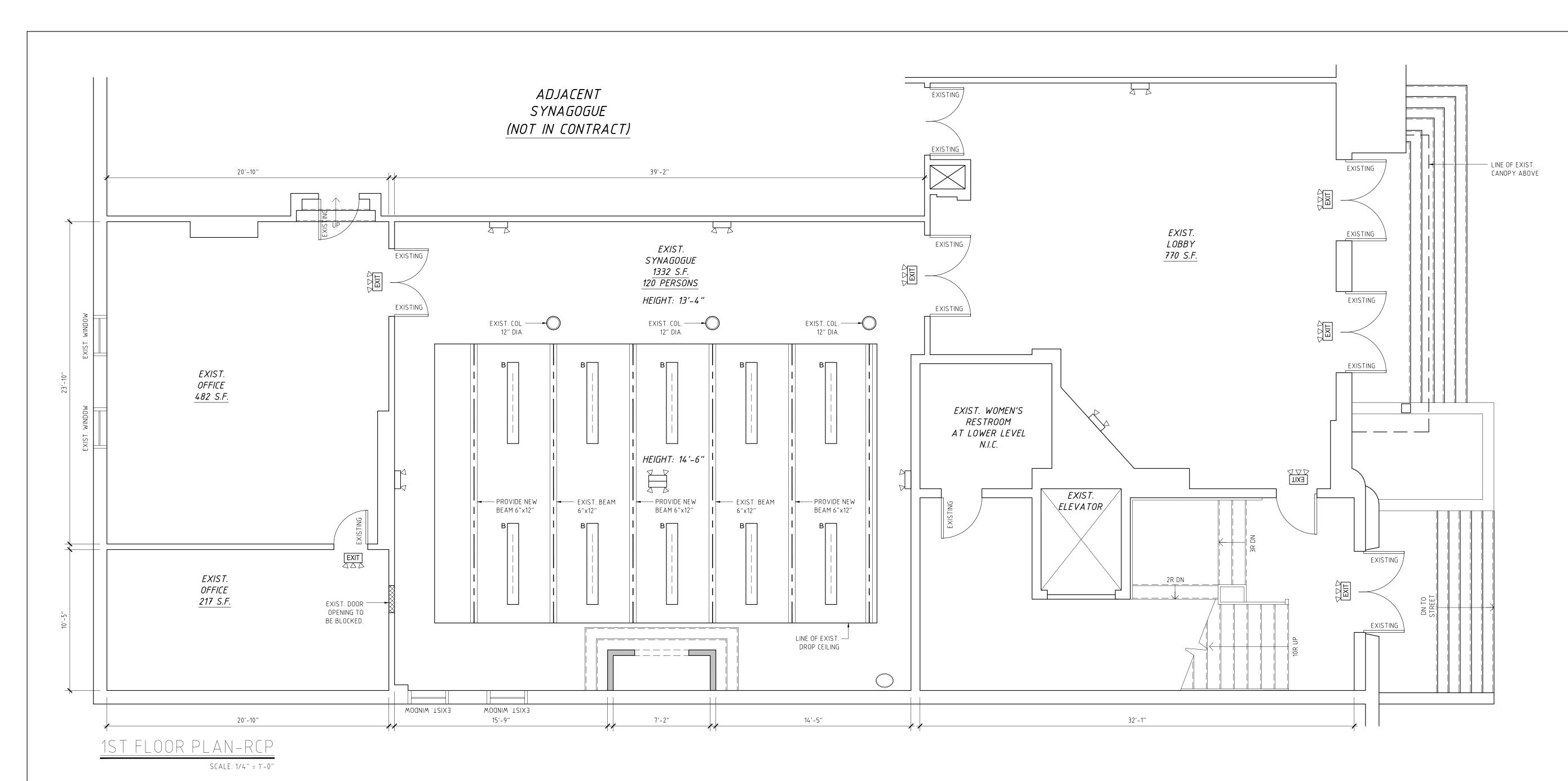
SCALE: AS NOTED

A-003.00

SHEET: 3 OF 5

DOB STICKER





LEGENDANDMARK PRESERVATION COMMISSION

ELECTRONIC APPROVAL - 03/03/2021 - SK HALO MODEL# H7ICT 30 W/120V OR APPROVED EQUAL

6'-0" -CLOSE TO CEILING LED BY SATCO NUVO LIGHTING. 3000K OPTION: 50 WATT / 120 VOLTS MODEL No: RND/FLUSH/3K/WH

INTEGRATED LED: CRI: 80 COLOR TEMP: 3000K

THERMOSTATIC LED EXIST SIGN WITH BATTERY BACK UP, MANUFACTURING- SECURITY LIGHTING, MODEL No; RPB, INTERNAL LIT, OR APPROVED EQUAL. 5 WATTS MAX. PER SIDE AS PER N.Y.C.E.C.C.

EMERGENCY LIGHT BY TLS, MODEL No: SEL-6-54-2-7.2W. UL924 LISTED, NEC, NFPA 101

OCCUPANCY SENSOR CONTROL BY: LITHONIA LIGHTING, MODEL No: CMR 10, 120 VOLTS, CFL, INCANDESCENT

FIRE STOPPING NOTES:

1. DUCT AND PIPE SPACES AND CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ETC. THAT WOULD PERMIT PASSAGE OF FLAME, SMOKE, FUMES, OR HOT GASES FROM ONE FLOOR TO ANOTHER FLOOR OR ROOF SPACES, OR FROM ONE CONCEALED AREA TO ANOTHER, SHALL BE FILLED WITH NON-COMBUSTIBLE MATERIAL AS PER SECT. 27-345.

2. FIRE STOPPING MAY BE OF COMBUSTIBLE MATERIALS CONSISTING OF WOOD NOT LESS THAN 2" NOMINAL THICKNESS WITH TIGHT JOINTS, EXCEPT THAT NON-COMBUSTIBLE FIRE STOPPING SHALL BE USED IN CONCEALED SPACES OF FIRE DIVISIONS AND WHERE IN CONTACT WITH FIREPLACES, FLUES, AND CHIMNEYS AS PER SEC 27-345(a).

3. ALL HOLLOW PARTITIONS AND FURRED OUT SPACES SHALL BE FIRE STOPPED AT EACH FLOOR LEVEL. FIRE STOPS SHALL BE THE FULL THICKNESS OF THE HOLLOW FURRED OUT SPACES AS

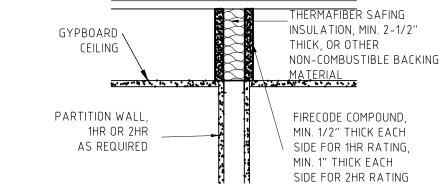
4. CONCEALED SPACES WITHIN STAIRS CONSTRUCTION SHALL BE FIRE STOPPED BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH FLIGHT OF STAIRS SO AS NOT TO COMMUNICATE WITH SPACES IN THE FLOOR, ROOF, OR INTERMEDIATE LANDING CONSTRUCTION AS PER SEC

5. CEILINGS THAT CONTRIBUTE TO THE REQUIRED FIRE-RESISTANCE RATING OF A FLOOR OR ROOF ASSEMBLY SHALL BE CONTINUOUS BETWEEN EXTERIOR WALLS, VERTICAL FIRE DIVISIONS, FIRE SEPARATIONS, CORRIDOR PARTITIONS OR ANY OTHER PARTITIONS HAVING AT LEAST THE SAME FIRE RESISTANCE RATING AS THE CEILING. THE CONCEALED SPACE ABOVE SUCH CEILING SHALL BE FIRE STOPPED INTO AREAS NOT EXCEEDING 3,000 S.F. FOR THE FULL HEIGHT OF THE CONCEALED SPACE.

RECOMMENDATION. 7. ANY WORK PERFORMED ON WALLS, CEILINGS AND/OR FLOOR COMMON TO OTHER HABITABLE

6. ALL FIRESTOPPING TO BE PERFORMED AS PER APPLICABLE UL DETAILS AND MANUFACTURER'S

SPACES, PUBLIC SPACES OR TO THE EXTERIOR SHALL NOT LOWER THEIR FIRE RATINGS.



TYPICAL FIRESTOPPING DETAIL

THE APPROVED SET OF DOCUMENTS SHALL BE KEPT AT THE SITE AT ALL TIMES AND BE ACCESSIBLE FOR INSPECTION

DATE REMARKS

PROJECT ADDRESS:

120 WEST 76TH STREET, NY, NY 10023

DRAWING TITLE:

PARTIAL 1ST FLOOR PLAN-RCP

JOB DESCRIPTION:

MINOR INTERIOR RENOVATION OF EXIST. SYNAGOGUE.

SERDAR CEYLAN ARCHITECT, P.C. 267 5TH AVENUE, NEW YORK NY 10016, #410

TEL: 646-441-8224 serdarceylan@hotmail.com

SEAL & SIGNATURE

DATE: 10/26/2020 DRAWING BY: T.Z. AS NOTED

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LANDMARK PRESERVATION COMMISSION ELECTRONIC APPROVAL - 03/03/2021 - SK

- 1. ALL WORK AND MATERIALS FURNISHED SHALL COMPLY WITH ANY APPLICABLE FEDERAL, STATE, AND MUNICIPAL CODES AND ORDINANCES: AND THE REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, NATIONAL FIRE PROTECTION ASSOCIATION REQUIREMENTS, AND ALL FEDERAL STATE, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER THE WORK. THE BUILDING PERMIT SHALL BE SECURED BY THE GENERAL CONTRACTOR, AND HE SHALL OBTAIN ALL OTHER PERMITS AND APPROVALS AS REQUIRED BY LAW FOR THE COMPLETION OF THE WORK.
- 2. CONTRACTOR SHALL PROVIDE CONTROLLED INSPECTIONS AS REQUIRED FOR BUILDING DEPARTMENT APPROVAL. ALL CONTROLLED INSPECTIONS ARE TO BE PERFORMED BY LICENSED PROFESSIONALS AND THE COST OF THESE SERVICES IS TO BE PAID BY THE CONTRACTOR.
- 3. THE CONTRACTOR SHALL COORDINATE AND SUPERVISE THE WORK OF ALL CONTRACTORS AND SUB-CONTRACTORS. HE SHALL BE RESPONSIBLE FOR GIVING ALL TRADES SUCH INFORMATION, PLANS OR DETAILS AS MAY BE REQUIRED FOR THE PROPER INSTALLATION OF THEIR WORK. ALL MATERIALS SHALL BE ORDERED SUFFICIENTLY AHEAD OF TIME SO THAT WORK CAN PROCEED ON SCHEDULE. NO SUBSTITUTIONS WILL BE ACCEPTED BECAUSE OF FAILURE TO DO SO.
- 4. THE CONTRACTOR SHALL KEEP THE ARCHITECT INFORMED OF THE PROGRESS OF HIS WORK, NO WORK SHALL BE CLOSED OR COVERED UNTIL IT HAS BEEN DULY INSPECTED AND APPROVED. SHOULD UN-INSPECTED WORK BE COVERED THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, UNCOVER ALL SUCH WORK SO THAT IT CAN BE PROPERLY INSPECTED AND AFTER SUCH INSPECTION, HE SHALL PROPERLY REPAIR AND REPLACE ALL WORK INTERFERED WITH.
- 5. ALL WORK SHALL BE SUBJECT TO FINAL INSPECTION BY THE ARCHITECT, THE AUTHORITY HAVING JURISDICTION AND ACCEPTANCE BY THE OWNER.
- 6. PROTECT OWNER'S PROPERTY, EQUIPMENT, AND EMPLOYEES FROM INJURY OR DAMAGE AT THE PROJECT SITE.
- 7. THE CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSURANCE IN ACCORDANCE WITH BUILDING REQUIREMENTS AND SHALL INCLUDE A HOLD HARMLESS CLAUSE FOR THE OWNER, BUILDING MANAGEMENT,
- 8. ALL ELECTRICAL OUTLETS TO MEET ALL REQUIREMENTS OF THE NYC ELECTRICAL CODE
- 9. DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOT CREATE ANY DUST OR DISTURBANCE FOR ANY OF THE OTHER RESIDENTS ON THE FLOOR OR IN THE BUILDING.
- 10. UPON COMPLETION OF THIS PROJECT, THE ARCHITE4CT SHALL FURNISH, TO THE BUILDING MANAGEMENT, COPIES OF ALL SIGN OFFS FROM THE DEPARTMENT OF BUILDINGS AND ALL OTHER AGENCIES WITH WHOM THE PROJECT IS FILED.
- 11. DRAWINGS MAY BE ROUGH SCALED FOR ESTIMATING AND GENERAL REFERENCE. FOR ALL OTHER DIMENSIONS OR LOCATIONS CONSULT WITH THE ARCHITECT AND/OR FIELD VERIFY ALL DIMENSIONS.

01 GENERAL NOTES

COMBUSTIBLE WASTE MATERIAL OR COMBUSTIBLE DEBRIS SHALL NOT BE PERMITTED TO ACCUMULATE, AND SHALL BE REMOVED FROM THE SITE AT REASONABLE INTERVALS, IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DEPARTMENT.

NO MATERIAL SHALL BE DROPPED OR THROWN OUTSIDE THE EXTERIOR WALLS OF A BUILDING.

PRECAUTIONS SHALL BE TAKEN TO PREVENT CONCRETE OR MORTAR WASHINGS, SAND, GRIT, OR ANY OTHER MATERIAL THAT WOULD CAUSE CLOGGING FROM ENTERING A SEWER OR DRAIN.

DEBRIS, BRICKS, AND SIMILAR MATERIAL SHALL BE REMOVED BY MEANS OF CHUTES, BUCKETS, OR HOISTS OR THROUGH OPENINGS IN THE FLOORS OF THE STRUCTURE. EVERY OPENING USED FOR THE REMOVAL OF DEBRIS IN EVERY FLOOR EXCEPT THE TOP OR

WORKING FLOOR, SHALL BE PROVIDED WITH A TIGHT ENCLOSURE FROM FLOOR TO FLOOR, EQUIVALENT TO THAT AFFORDED BY PLANKING NOT LESS THAN TWO INCHES IN THICKNESS.

WHEREVER SUCH COVERING HAS BEEN TEMPORARILY REMOVED TO PERMIT DEBRIS REMOVAL FLOOR OPENINGS SHALL BE PROTECTED BY STANDARD GUARD RAILS OR RAILINGS. SUCH COVERING SHALL BE PROMPTLY REPLACED IN POSITION UPON THE CEASING OF SUCH WORK AT THE END OF EACH WORK DAY.

DUST PRODUCING OPERATIONS SHALL BE WETTED DOWN TO THE EXTENT NECESSARY TO LAY

THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS SHOWN OR NOTED ON THESE CONSTRUCTION DRAWINGS.

THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE TENANT AND THE BUILDING OWNER INCLUDING BUT NOT LIMITED TO WINDOW, FLOOR AND CEILING TILE, PUBLIC TOILETS. ELEVATORS, DOORS, BUCKS, ELECTRICAL, FIRE ALARM SYSTEM AND AIR CONDITIONING EQUIPMENT, CONVECTOR ENCLOSURES

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BUILDING STANDARD LIGHTING FIXTURES, DOORS BUCKS, HARDWARE, PLUMBING FIXTURES, PIPES, SWITCHES AND OTHER ITEMS WHICH ARE NOT TO BE REUSED BY TENANT IN THE NEW CONSTRUCTION AND ARE SALVAGEABLE, SHALL BE RETURNED TO THE BUILDING UPON REQUEST. ALL ITEMS NOT REUSED OR RETURNED TO THE BUILDING SHALL BE REMOVED FROM

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ALL DEMOLITION AND RUBBISH REMOVAL MUST BE DONE AT THE DISCRETION OF THE BUILDING MANAGER. ELEVATOR SERVICE TO BE ARRANGED WITH THE BUILDING MANAGER.

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ALL DELIVERIES OF CONSTRUCTION MATERIALS ARE TO BE MADE AT THE DISCRETION OF BUILDING MANAGER. WHEN CONSTRUCTION MATERIALS, DEBRIS OR EQUIPMENT IS DELIVERED OR REMOVED FROM THE JOB SITE, ALL BUILDING CORRIDORS, ELEVATORS AND THE LOADING PLATFORM SHALL BE CLEANED AFTER WORK FROM THE DELIVERY IS COMPLETE.

WHEN DEMOLITION OR CONSTRUCTION IS IN PROGRESS, EVERY PRECAUTION SHALL BE TAKEN TO PREVENT ANY DUST AND/OR ODORS FROM ESCAPING TO ADJACENT TENANT AREAS OR BUILDING CORRIDORS. ADJ. PSACES MUST BE CLEANED DAILY

ALL TRADESMEN SHALL USE THE BUILDING FREIGHT SERVICE CAR ONLY FOR INGRESS AND EGRESS TO THE JOB SITE UNLESS OTHERWISE DIRECTED.

NO CONTRACTOR OR SUBCONTRACTOR WILL BE ALLOWED TO ENTER THE BUILDING UNTIL A CLEARANCE IS OBTAINED FROM THE BUILDING MANAGER.

THE PUBLIC CORRIDORS WILL BE PROTECTED BY THE LAYING OF THISTLE KRAFT PAPER AND TAPED DOWN. TO THE SATISFACTION OF THE BUILDING MANAGER AND THEREAFTER. MAINTAINED IN A CLEAN AND SAFE CONDITION FOR THE DURATION OF CONSTRUCTION. CONTRACTOR WILL KEEP A SMALL PIECE OF DAMP CARPET AT THE SITE ENTRANCE TO CLEAN

ALL ITEMS NOTED FOR REMOVAL AND REUSED ARE TO BE STORED IN A SAFE, SECURED AREA FOR NEW TENANT FIT-UP WORK.

COPIES OF ANY CERTIFICATES OF COMPLIANCE REQUIRED BY THE NEW YORK CITY DEPARTMENT OF BUILDINGS AND BOARD OF FIRE UNDERWRITERS OR OTHER AUTHORITIES HAVING

JURISDICTION, SHALL BE FORWARD TO THE BUILDING UPON COMPLETION OF WORK. THE CONSTRUCTION AREA AND HALLWAYS WILL BE KEPT BROOMCLEAN AT ALL TIMES. NEW YORK CITY ADMINISTRATIVE CODE 28-104.8.4 - TENANT PROTECTION PLAN

§ 28-104.8.4 TENANT PROTECTION PLAN. CONSTRUCTION DOCUMENTS FOR ALTERATIONS OF

WHICH ANY DWELLING UNIT WILL BE OCCUPIED DURING CONSTRUCTION SHALL INCLUDE A TENANT PROTECTION PLAN. SUCH PLAN SHALL CONTAIN A STATEMENT THAT THE BUILDING CONTAINS DWELLING UNITS THAT WILL BE OCCUPIED DURING CONSTRUCTION AND SHALL INDICATE IN SUFFICIENT DETAIL THE SPECIFIC UNITS THAT ARE OR MAY BE OCCUPIED DURING CONSTRUCTION, THE MEANS AND METHODS TO BE EMPLOYED TO SAFEGUARD THE SAFETY AND HEALTH OF THE OCCUPANTS THROUGHOUT THE CONSTRUCTION, INCLUDING, WHERE APPLICABLE, DETAILS SUCH AS TEMPORARY FIRE-RATED ASSEMBLIES, OPENING PROTECTIVE, OR DUST CONTAINMENT PROCEDURES. SUCH MEANS AND METHODS SHALL DESCRIBED WITH PARTICULARITY AND IN NO CASE SHALL TERMS SUCH AS "CODE COMPLIANT," "APPROVED," "LEGAL," "PROTECTED IN ACCORDANCE WITH LAW" OR SIMILAR TERMS BE USED AS A SUBSTITUTE FOR SUCH DESCRIPTION. THE ELEMENTS OF THE TENANT PROTECTION PLAN MAY VARY DEPENDING ON THE NATURE AND SCOPE OF THE WORK BUT AT A MINIMUM SHALL MAKE DETAILED AND SPECIFIC PROVISIONS FOR:

1. EGRESS. AT ALL TIMES IN THE COURSE OF CONSTRUCTION PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY THIS CODE AND THE TENANT PROTECTION PLAN SHALL IDENTIFY THE EGRESS THAT WILL BE PROVIDED. REQUIRED EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME EXCEPT WHERE APPROVED BY THE COMMISSIONER.

FIRE SAFETY. ALL NECESSARY LAWS AND CONTROLS. INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS, AS WELL ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY OBSERVED.

3. HEALTH REQUIREMENTS. SPECIFICATION OF MEANS AND METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL AND MAINTENANCE OF SANITARY FACILITIES, AND LIMITATION OF NOISE TO ACCEPTABLE LEVELS SHALL BE INCLUDED.

3.1. THERE SHALL BE INCLUDED A STATEMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW RELATING TO LEAD AND ASBESTOS AND SUCH STATEMENT SHALL DESCRIBE WITH PARTICULARITY WHAT MEANS AND METHODS ARE BEING UNDERTAKEN TO MEET SUCH COMPLIANCE.

4. COMPLIANCE WITH HOUSING STANDARDS. THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE, AND, WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.

5. STRUCTURAL SAFETY. NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE OCCUPANTS.

6. NOISE RESTRICTIONS. WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED PURSUANT TO THE NEW YORK CITY NOISE CONTROL CODE, SUCH LIMITATIONS SHALL BE STATED.

MAINTAINING ESSENTIAL SERVICES. WHERE HEAT, HOT WATER, COLD WATER, GAS, ELECTRICITY, OR OTHER UTILITY SERVICES ARE PROVIDED IN SUCH BUILDING OR IN ANY DWELLING UNIT LOCATED THEREIN, THE TENANT PROTECTION PLAN SHALL SPECIFY THE MEANS AND METHODS TO BE USED FOR MAINTAINING SUCH SERVICES DURING SUCH WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE. IF A DISRUPTION OF ANY SUCH SERVICE IS ANTICIPATED DURING THE WORK, THEN SUCH PLAN SHALL SPECIFY THE ANTICIPATED DURATION OF SUCH DISRUPTION AND THE MEANS AND METHODS TO BE EMPLOYED TO MINIMIZE SUCH DISRUPTION, INCLUDING THE PROVISION OF SUFFICIENT ALTERNATIVES FOR SUCH SERVICE DURING SUCH DISRUPTION.

§ 28-104.8.4.1 PUBLIC AVAILABILITY OF TENANT PROTECTION PLAN, UPON ISSUANCE OF A PERMIT FOR WORK CONTAINING A TENANT PROTECTION PLAN, THE DEPARTMENT SHALL MAKE THE TENANT PROTECTION PLAN PUBLICLY AVAILABLE ON ITS WEBSITE.

§ 28-104.8,4.2 PROVISION OF COPY OF TENANT PROTECTION PLAN TO OCCUPANTS UPON REQUEST. THE OWNER OF A BUILDING UNDERGOING WORK FOR WHICH A TENANT PROTECTION PLAN IS REQUIRED BY SECTION 28-104.8.4 SHALL, UPON REQUEST FROM AN OCCUPANT OF A DWELLING UNIT WITHIN SUCH BUILDING, PROVIDE SUCH OCCUPANT WITH A PAPER COPY OF THE TENANT PROTECTION PLAN APPROVED BY THE DEPARTMENT.

§ 28-104.8.4.3 NOTICE TO OCCUPANTS. UPON ISSUANCE OF A PERMIT FOR WORK CONTAINING A TENANT PROTECTION PLAN, THE OWNER SHALL (I) DISTRIBUTE A NOTICE REGARDING SUCH PLAN TO 3 DWELLING UNIT OR (II) POST A NOTICE REGARDING SUCH PLAN IN A CONSPICUOUS MANNER IN THE BUILDING LOBBY, AS WELL AS ON EACH FLOOR WITHIN TEN FEET OF THE ELEVATOR, OR IN A BUILDING

WHERE THERE IS NO ELEVATOR, WITHIN TEN FEET OF OR IN THE MAIN STAIRWELL ON SUCH FLOOR. THE NOTICE SHALL BE IN A FORM CREATED OR APPROVED BY THE DEPARTMENT AND SHALL INCLUDE: 1. A STATEMENT THAT OCCUPANTS OF THE BUILDING MAY OBTAIN A PAPER COPY OF SUCH PLAN

FROM THE OWNER AND MAY ACCESS SUCH PLAN ON THE DEPARTMENT WEBSITE; 2. THE NAME AND CONTACT INFORMATION FOR THE SITE SAFETY MANAGER, SITE SAFETY COORDINATOR OR SUPERINTENDENT OF CONSTRUCTION REQUIRED BY SECTION 3301.3 OF THE NEW YORK

CITY BUILDING CODE, AS APPLICABLE, OR, IF THERE IS NO SITE SAFETY MANAGER, SITE SAFETY

COORDINATOR OR SUPERINTENDENT OF CONSTRUCTION, THE NAME AND CONTACT INFORMATION OF THE

BUILDING OR SUCH OWNER'S DESIGNEE; AND 3. A STATEMENT THAT OCCUPANTS OF THE BUILDING MAY CALL 311 TO MAKE COMPLAINTS ABOUT

§ 2. SECTION BC 110 OF THE BUILDING CODE OF THE CITY OF NEW YORK IS AMENDED BY ADDING A NEW SECTION 110.3.7 TO READ AS FOLLOWS: 110.3.7 TENANT PROTECTION PLAN COMPLIANCE INSPECTIONS. FOR BUILDINGS UNDERGOING WORK FOR WHICH A TENANT PROTECTION PLAN IS REQUIRED BY SECTION 28-104.8.4 OF THE ADMINISTRATIVE CODE, INSPECTIONS SHALL BE MADE BY THE DEPARTMENT TO DETERMINE COMPLIANCE WITH THE TENANT PROTECTION PLAN

IT IS THE OWNER AND / OR THE CONTRACTOR'S RESPONSIBILITY TO INFORM THE ARCHITECT OR PROFESSIONAL ENGINEER OF RECORD 24 HOURS PRIOR TO PERFORM THE FOLLOWING INSPECTIONS:

1. IF ARCHITECT / ENGINEER HAS NOT BEEN RETAINED TO PERFORM ANY OF THE SPECIAL INSPECTIONS. THE GENERAL CONTRACTOR TO RETAIN LICENSED ARCHITECT AND OR PROFESSIONAL ENGINEER TO PERFORM THESE INSPECTIONS PLUS ANY ADDITIONAL SPECIAL INSPECTIONS AS REQUESTED BY THE DEPARTMENT OF BUILDINGS. APPLICANT HAS NOT BEEN RETAINED FOR FIELD SUPERVISION OR TO PERFORM CONTROLLED

2. THE FOLLOWING REQUIREMENTS ARE NECESSARY PRIOR TO COMMENCEMENT OF CONSTRUCTION AND OBTAINING A FINAL CERTIFICATE OF OCCUPANCY. THESE ARE NOT FINAL AND SUBJECT TO ANY ADDITIONAL REQUIREMENTS AS REQUESTED BY THE NEW YORK CITY BUILDING

3. GENERAL CONTRACTOR TO INCLUDE IN HIS BID ALL RELATED COSTS INCLUDING BUT NOT LIMITED TO; AIR BALANCE; CONTROLLED/ SPECIAL INSPECTIONS, AND ALL TESTING LABORATORY FEES.

ENERGY CODE COMPLIANCE NOTE:

06 | SPECIAL INSPECTION ITEMS & PROGESS INSPECTIONS

- TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK CITY CHAPTER C4, C5, 2020 COMMISSIONING IS NOT REQUIRED FOR THIS PROJECT
- ALL OPERATING AND MAINTENANCE MANUALS SHALL BE PROVIDED TO THE BUILDING OWNER BY THE MECHANICAL CONTRACTOR

THERE IS NO CHANGE OF THE ENERGY USAGE OF THE BUILDING UNDER THIS APPLICATION AND THEREFORE NO TR8 IS BEING SUBBMITED

28-116.2.4.2, BC 109.5 DIRECTIVE 14 OF 1975 AND 1 RCNY § 101-10

REFLECTED CEILING PLAN

07 | PROPERTY INFORMATION

BLOCK: 1147

ZONE: R8B

EXISTING SYNAGOGUE.

DRAWING No:

A-001

A-002

A-003

A-004

ZONING CALCULATION IS REQUIRED.

OCCUPANCY CLASSIFICATION:

CONSTRUCTION CLASSIFICATION:

TO BE REMOVED - SEE DEMOLITION PLAN

PROPERTY LOCATION

120 WEST 76TH STREET

APPLICATION FILED FOR MINOR INTERIOR RENOVATION OF

APPLICATION FILED DOES NOT CONSTITUTE ANY CHANGE IN

USE, FLOOR AREA, EGRESS OR OCCUPANCY. THEREFORE, NO

MIX. USE. BLDG - 2016

DESCRIPTION:

EXISTING FLOOR PLAN

DEMOLITION FLOOR PLAN

PROPOSED FLOOR PLAN

2HR RATED

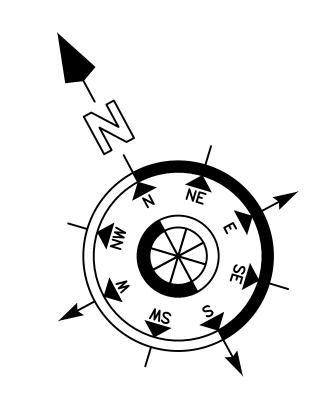
SITE PLAN, PROJECT INFORMATION,

GENERAL NOTES, ENERGY STATEMENT

EXISTING WALLS / PARTITIONS TO REMAIN

NEW PARTITION WALL/SEE WALL TYPES

08 | LEGEND



DATE REMARKS

PROJECT ADDRESS:

120 WEST 76TH STREET, NY, NY 10023

DRAWING TITLE:

BUILDING INFORMATION, GENERAL NOTES, LEGEND, SITE PLAN AND SPECIAL INSPECTIONS

JOB DESCRIPTION:

MINOR INTERIOR RENOVATION OF EXIST. SYNAGOGUE.

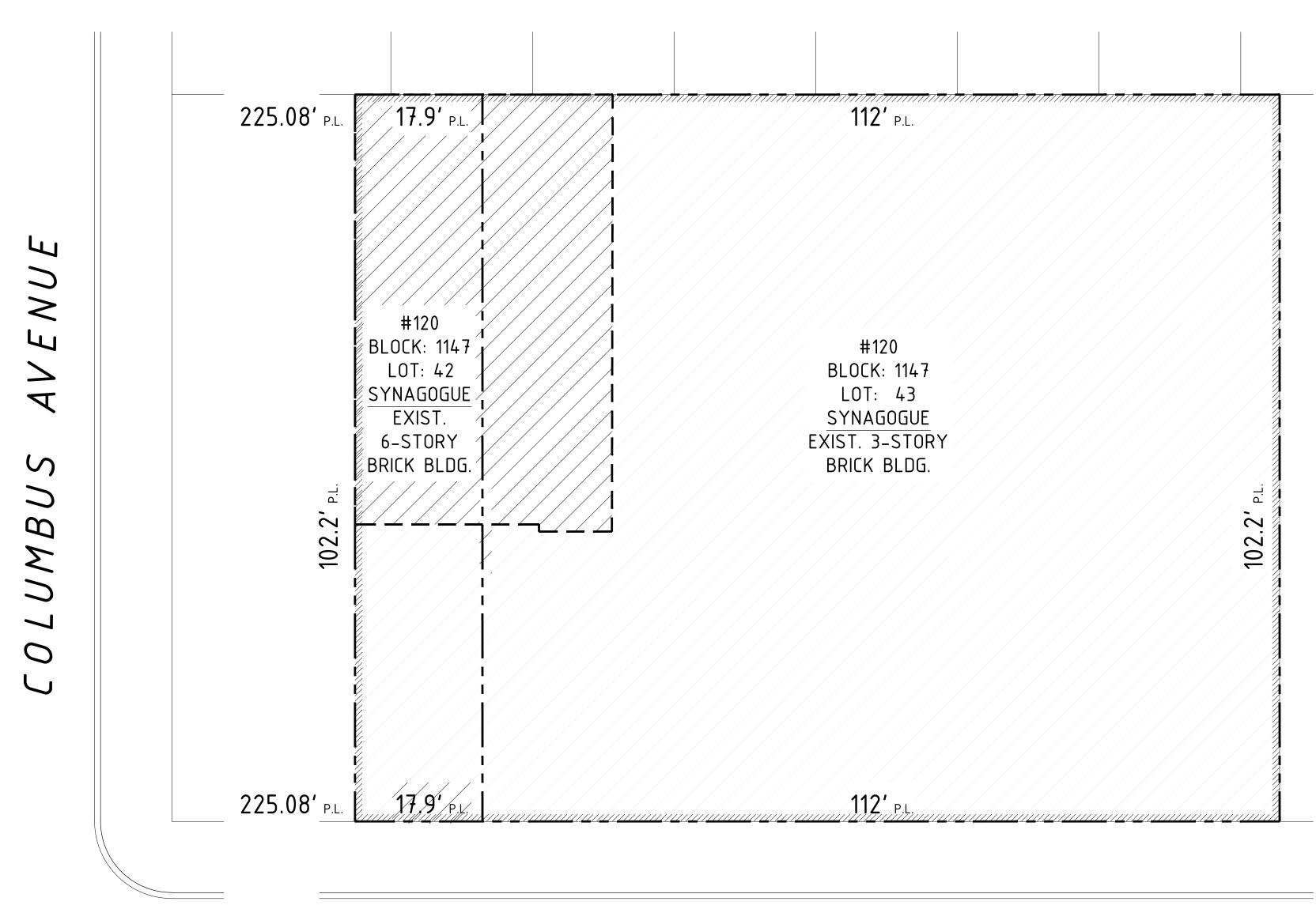
SERDAR CEYLAN ARCHITECT, P.C.

267 5TH AVENUE, NEW YORK NY 10016, #410 TEL: 646-441-8224 serdarceylan@hotmail.com

SEAL & SIGNATURE

,DATE: 02/03/2021 DRAWING BY: AS NOTE

#M00485359-I1



WEST 76TH STREET.

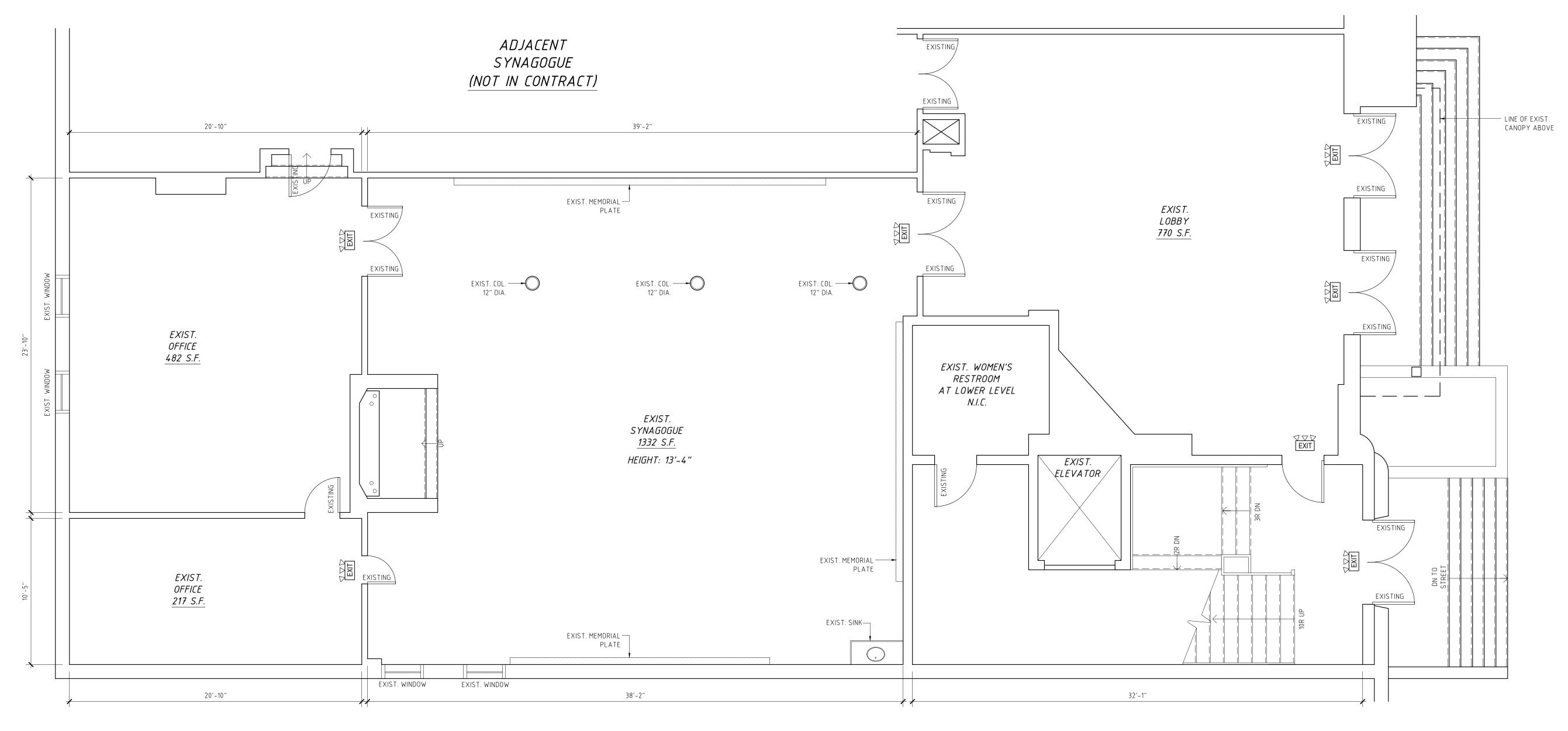
James Patrick Geoghegar **APPROVED** Date: 03/18/2021 Job: M00485359-I1

SCALE: 3/16"=1'-0"

03 | TENANT PROTECTION PLAN NOTES/CODE 28-104.8.4 02 | REMOVAL OF MATERIAL NOTES

04 ZONING MAP

05 | SITE PLAN



SCALE: 1/4" = 1'-0"

DATE REMARKS

PROJECT ADDRESS:

120 WEST 76TH STREET, NY, NY 10023

DRAWING TITLE:

EXISTING PARTIAL 1ST FLOOR PLAN

JOB DESCRIPTION:

MINOR INTERIOR RENOVATION OF EXIST. SYNAGOGUE.

SERDAR CEYLAN ARCHITECT, P.C. 267 5TH AVENUE, NEW YORK NY 10016, #410

TEL: 646-441-8224 serdarceylan@hotmail.com

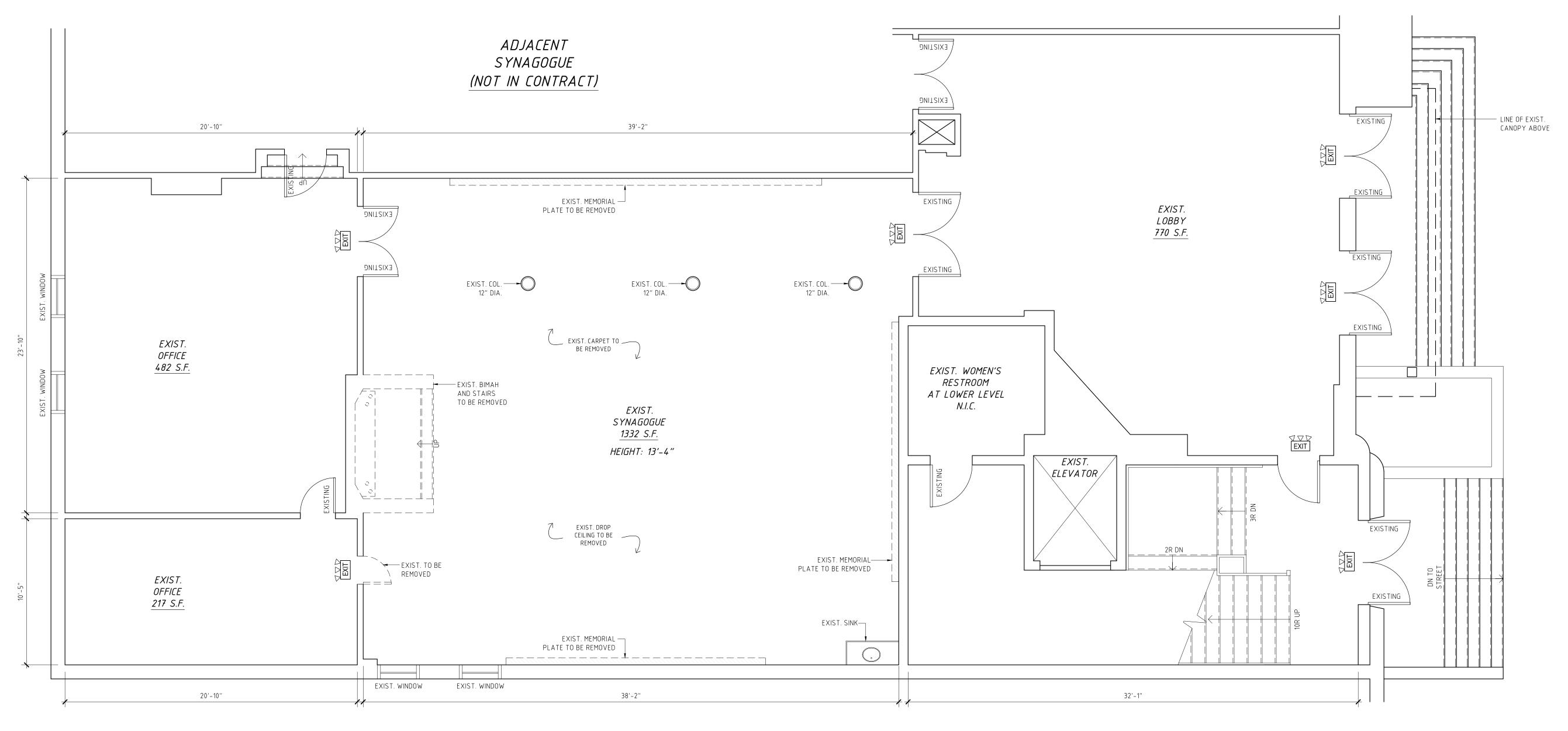


James Patrick Geoghegan **APPROVED**

Date: 03/18/2021 Job: M00485359-I1

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ADAB CELT	CHECKED	BY:	S.C.
ERED ARC	DRAWING	BY:	T.Z.
. & SIGNATURE	DATE:	02/03	/2021

#M00485359-I1



DEMOLITION 1ST FLOOR PLAN SCALE: 1/4" = 1'-0"

REMOVAL OF MATERIAL NOTES:

COMBUSTIBLE WASTE MATERIAL OR COMBUSTIBLE DEBRIS SHALL NOT BE PERMITTED TO ACCUMULATE, AND SHALL BE REMOVED FROM THE SITE AT REASONABLE INTERVALS, IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DEPARTMENT.

NO MATERIAL SHALL BE DROPPED OR THROWN OUTSIDE THE EXTERIOR WALLS OF A BUILDING.

PRECAUTIONS SHALL BE TAKEN TO PREVENT CONCRETE OR MORTAR WASHINGS, SAND, GRIT, OR ANY OTHER MATERIAL THAT WOULD CAUSE CLOGGING FROM ENTERING A SEWER OR DRAIN.

DEBRIS, BRICKS, AND SIMILAR MATERIAL SHALL BE REMOVED BY MEANS OF CHUTES, BUCKETS, OR HOISTS OR THROUGH OPENINGS IN THE FLOORS OF THE STRUCTURE.

EVERY OPENING USED FOR THE REMOVAL OF DEBRIS IN EVERY FLOOR EXCEPT THE TOP OR WORKING FLOOR, SHALL BE PROVIDED WITH A TIGHT ENCLOSURE FROM FLOOR TO FLOOR, EQUIVALENT TO THAT AFFORDED BY PLANKING NOT LESS THAN TWO INCHES IN THICKNESS.

WHEREVER SUCH COVERING HAS BEEN TEMPORARILY REMOVED TO PERMIT DEBRIS REMOVAL FLOOR OPENINGS SHALL BE PROTECTED BY STANDARD GUARD RAILS OR RAILINGS. SUCH COVERING SHALL BE PROMPTLY REPLACED IN POSITION UPON THE CEASING OF SUCH WORK AT THE END OF EACH WORK DAY.

DUST PRODUCING OPERATIONS SHALL BE WETTED DOWN TO THE EXTENT NECESSARY TO LAY

THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS SHOWN OR NOTED ON THESE CONSTRUCTION DRAWINGS.

THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE TENANT AND THE BUILDING OWNER INCLUDING BUT NOT LIMITED TO WINDOW, FLOOR AND CEILING TILE, PUBLIC TOILETS, ELEVATORS, DOORS, BUCKS, ELECTRICAL, FIRE ALARM SYSTEM AND AIR CONDITIONING EQUIPMENT, CONVECTOR ENCLOSURES

THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGH OUT THE SPACE UNDER CONSTRUCTION, AS REQUIRED.

BUILDING STANDARD LIGHTING FIXTURES, DOORS BUCKS, HARDWARE, PLUMBING FIXTURES, PIPES, SWITCHES AND OTHER ITEMS WHICH ARE NOT TO BE REUSED BY TENANT IN THE NEW CONSTRUCTION AND ARE SALVAGEABLE, SHALL BE RETURNED TO THE BUILDING UPON REQUEST. ALL ITEMS NOT REUSED OR RETURNED TO THE BUILDING SHALL BE REMOVED FROM THE PREMISES.

THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, ELECTRICAL OUTLETS, TELEPHONE/SIGNAL OUTLETS, CEILING TILES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE, OR ELECTRICAL WIRING AND EQUIPMENT BACK TO THE ELECTRICAL AND TELEPHONE CLOSETS.

THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING FLOORING AND BASE, U.O.N.

IN ALL AREAS WHERE DEMOLITION (REMOVAL OF CARPETING, TACKLESS, PARTITIONS, ETC.) CAUSES AN UNEVENNESS IN SLAB, THE CONTRACTOR SHALL PATCH TO LEVEL THE SLAB.

THE GENERAL CONTRACTOR SHALL CAP AND REMOVE BACK TO SOURCE ALL PROJECTING FLOOR ELECTRICAL OUTLETS/TELEPHONE OUTLETS, AND ALL OTHERS, ETC.

ALL EXISTING OUTLETS TO BE REMOVED UNLESS OTHERWISE NOTED. ALL ELECTRICAL AND TELECOMMUNICATIONS WIRING SHALL BE REMOVED BY GENERAL CONTRACTOR: TO PERMIT INSTALLATION OF NEW OUTLETS.

ALL DEMOLITION AND RUBBISH REMOVAL MUST BE DONE AT THE DISCRETION OF THE BUILDING MANAGER. ELEVATOR SERVICE TO BE ARRANGED WITH THE BUILDING MANAGER.

ALL WORK SHALL BE UNDER THE COMPLETE SUPERVISION OF A GENERAL CONTRACTOR.

ALL DELIVERIES OF CONSTRUCTION MATERIALS ARE TO BE MADE AT THE DISCRETION OF BUILDING MANAGER. WHEN CONSTRUCTION MATERIALS, DEBRIS OR EQUIPMENT IS DELIVERED OR REMOVED FROM THE JOB SITE, ALL BUILDING CORRIDORS, ELEVATORS AND THE LOADING PLATFORM SHALL BE CLEANED AFTER WORK FROM THE DELIVERY IS COMPLETE.

WHEN DEMOLITION OR CONSTRUCTION IS IN PROGRESS, EVERY PRECAUTION SHALL BE TAKEN TO PREVENT ANY DUST AND/OR ODORS FROM ESCAPING TO ADJACENT TENANT AREAS OR BUILDING CORRIDORS. ADJ. PSACES MUST BE CLEANED DAILY

ALL TRADESMEN SHALL USE THE BUILDING FREIGHT SERVICE CAR ONLY FOR INGRESS AND EGRESS TO THE JOB SITE UNLESS OTHERWISE DIRECTED.

NO CONTRACTOR OR SUBCONTRACTOR WILL BE ALLOWED TO ENTER THE BUILDING UNTIL A CLEARANCE IS OBTAINED FROM THE BUILDING MANAGER.

THE PUBLIC CORRIDORS WILL BE PROTECTED BY THE LAYING OF THISTLE KRAFT PAPER AND TAPED DOWN, TO THE SATISFACTION OF THE BUILDING MANAGER AND THEREAFTER, MAINTAINED IN A CLEAN AND SAFE CONDITION FOR THE DURATION OF CONSTRUCTION. CONTRACTOR WILL KEEP A SMALL PIECE OF DAMP CARPET AT THE SITE ENTRANCE TO CLEAN DIRT FROM SHOES.

ALL ITEMS NOTED FOR REMOVAL AND REUSED ARE TO BE STORED IN A SAFE, SECURED AREA FOR NEW TENANT FIT-UP WORK.

COPIES OF ANY CERTIFICATES OF COMPLIANCE REQUIRED BY THE NEW YORK CITY DEPARTMENT OF BUILDINGS AND BOARD OF FIRE UNDERWRITERS OR OTHER AUTHORITIES HAVING JURISDICTION, SHALL BE FORWARD TO THE BUILDING UPON COMPLETION OF WORK.

THE CONSTRUCTION AREA AND HALLWAYS WILL BE KEPT BROOMCLEAN AT ALL TIMES.

THE APPROVED SET OF DOCUMENTS SHALL BE KEPT AT THE SITE

AT ALL TIMES AND BE ACCESSIBLE FOR INSPECTION

DATE NO REMARKS

PROJECT ADDRESS:

120 WEST 76TH STREET, NY, NY 10023

DRAWING TITLE:

PARTIAL 1ST FLOOR PLAN- DEMO

JOB DESCRIPTION:

MINOR INTERIOR RENOVATION OF EXIST. SYNAGOGUE.

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SERDAR CEYLAN ARCHITECT, P.C. 267 5TH AVENUE, NEW YORK NY 10016, #410

267 5TH AVENUE, NEW YORK NY 1001 TEL: 646-441-8224 serdarceylan@hotmail.com



James Patrick Geoghegan APPROVED

Date: 03/18/2021 Job: M00485359-I1 DATE: 02/03/2021

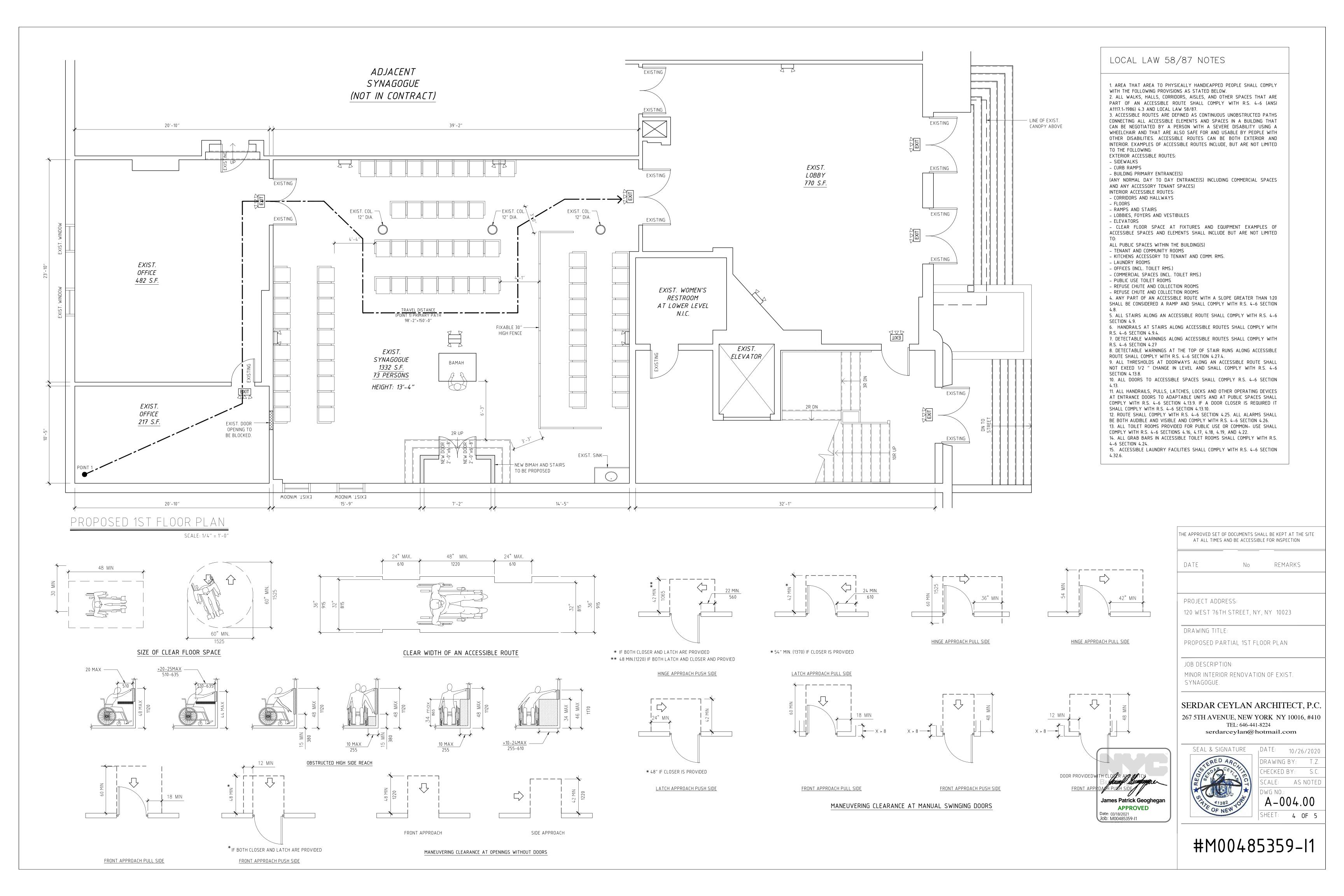
DRAWING BY: T.Z.

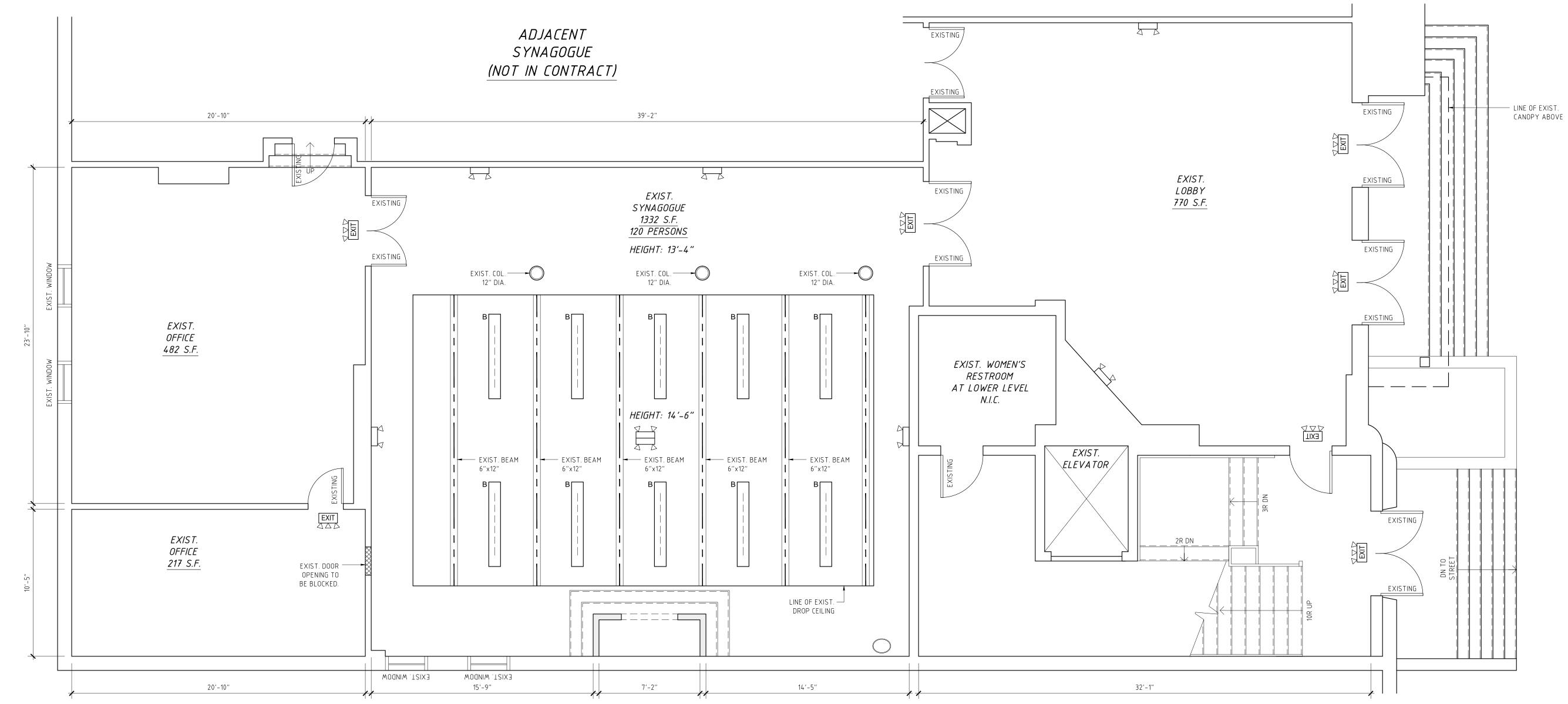
CHECKED BY: S.C.

SCALE: AS NOTED

A-003.00
SHEET: 3 OF 5

#M00485359-I





1ST FLOOR PLAN-RCP

SCALE: 1/4" = 1'-0"

LEGE

B 6'-0" -CLOSE TO CEILING LED BY SATCO NUVO LIGHTING. 3000K OPTION: 50 WATT / 120 VOLTS

MODEL No: RND/FLUSH/3K/WH INTEGRATED LED: CRI: 80 COLOR TEMP: 3000K

THERMOSTATIC LED EXIST SIGN WITH BATTERY BACK UP, MANUFACTURING- SECURITY LIGHTING, MODEL No; RPB, INTERNAL LIT, OR APPROVED EQUAL. 5 WATTS MAX. PER SIDE AS PER N.Y.C.E.C.C.

EMERGENCY LIGHT BY TLS, MODEL No: SEL-6-54-2-7.2W.
UL924 LISTED, NEC, NFPA 101

OCCUPANCY SENSOR CONTROL BY: LITHONIA LIGHTING, MODEL No: CMR 10, 120 VOLTS, CFL, INCANDESCENT

FIRE STOPPING NOTES:

1. DUCT AND PIPE SPACES AND CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ETC. THAT WOULD PERMIT PASSAGE OF FLAME, SMOKE, FUMES, OR HOT GASES FROM ONE FLOOR TO ANOTHER FLOOR OR ROOF SPACES, OR FROM ONE CONCEALED AREA TO ANOTHER, SHALL BE FILLED WITH NON-COMBUSTIBLE MATERIAL AS PER SECT. 27–345.

2. FIRE STOPPING MAY BE OF COMBUSTIBLE MATERIALS CONSISTING OF WOOD NOT LESS THAN 2" NOMINAL THICKNESS WITH TIGHT JOINTS, EXCEPT THAT NON-COMBUSTIBLE FIRE STOPPING SHALL BE USED IN CONCEALED SPACES OF FIRE DIVISIONS AND WHERE IN CONTACT WITH FIREPLACES, FLUES, AND CHIMNEYS AS PER SEC 27-345(a).

LEVEL. FIRE STOPS SHALL BE THE FULL THICKNESS OF THE HOLLOW FURRED OUT SPACES AS PER SEC 27-345(b).

4. CONCEALED SPACES WITHIN STAIRS CONSTRUCTION SHALL BE FIRE STOPPED BETWEEN

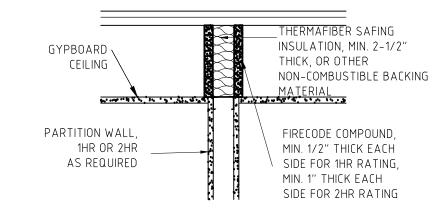
3. ALL HOLLOW PARTITIONS AND FURRED OUT SPACES SHALL BE FIRE STOPPED AT EACH FLOOR

STRINGERS AT THE TOP AND BOTTOM OF EACH FLIGHT OF STAIRS SO AS NOT TO COMMUNICATE WITH SPACES IN THE FLOOR, ROOF, OR INTERMEDIATE LANDING CONSTRUCTION AS PER SEC 27-345(C).

5. CEILINGS THAT CONTRIBUTE TO THE REQUIRED FIRE-RESISTANCE RATING OF A FLOOR OR ROOF ASSEMBLY SHALL BE CONTINUOUS BETWEEN EXTERIOR WALLS, VERTICAL FIRE DIVISIONS, FIRE SEPARATIONS, CORRIDOR PARTITIONS OR ANY OTHER PARTITIONS HAVING AT LEAST THE SAME FIRE RESISTANCE RATING AS THE CEILING. THE CONCEALED SPACE ABOVE SUCH CEILING SHALL BE FIRE STOPPED INTO AREAS NOT EXCEEDING 3,000 S.F. FOR THE FULL HEIGHT OF THE CONCEALED SPACE.

6. ALL FIRESTOPPING TO BE PERFORMED AS PER APPLICABLE UL DETAILS AND MANUFACTURER'S RECOMMENDATION.
7. ANY WORK PERFORMED ON WALLS, CEILINGS AND/OR FLOOR COMMON TO OTHER HABITABLE

SPACES, PUBLIC SPACES OR TO THE EXTERIOR SHALL NOT LOWER THEIR FIRE RATINGS.



TYPICAL FIRESTOPPING DETAIL

THE APPROVED SET OF DOCUMENTS SHALL BE KEPT AT THE SITE AT ALL TIMES AND BE ACCESSIBLE FOR INSPECTION

DATE No REMARKS

PROJECT ADDRESS:

120 WEST 76TH STREET, NY, NY 10023

DRAWING TITLE:

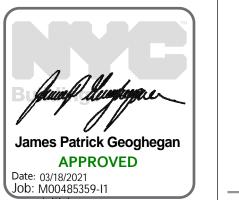
PARTIAL 1ST FLOOR PLAN-RCP

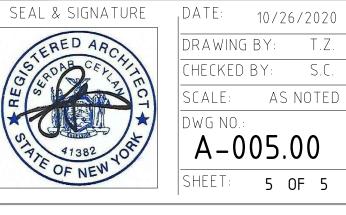
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TEL: 646-441-8224 serdarceylan@hotmail.com





#M00485359-I1



PERMITS FOR SPRINKLERS AND QUOTE FOR WIRING AND ELECTRICAL COMPANY

March 15, 2021

AAR Consulting LLC 1923 McDonald Avenue - # 99 Brooklyn, NY 11223

Re: 120 West 76th Street New York, NY

Attn: Mr. Avi Azulay

Dear Mr. Azulay,

Upon making a review of the drawings you have submitted and based upon our survey at the above-referenced location, Allstate Sprinkler Corp. will furnish all labor and materials in order to perform the following scope of work:

- Tie into the existing domestic 2" source of water.
- Install the appropriate backflow device, flow switch and gauge set-up in order to exclusively monitor the fire sprinkler system.
- Rise up to the 1st floor and provide adequate sprinkler protection throughout the main synagogue.
- Rough-in new crossmain and rough-in new branchline piping as necessary.
- Upon completion of all ceiling grids/framework, we will return to jobsite in order to revise the roughed-in piping mentioned above in order to provide adequate fire protection below all new ceiling elevations.
- All new sprinkler heads below dropped ceilings will be concealer type heads with white cover plates.
- All work is to be performed during normal business hours (7am-5pm)
- All labor provided is non-union affiliated.
- No TR-1 special inspections are included.
- No painting of any exposed piping is included.
- No plans, permits, filings or approvals are included.
- Any existing DOB or FDNY violations that prohibit us from securing a permit and have an associated fee or penalty is the building's responsibility and such fees are not included in the total cost below.
- ASC will provide all necessary liability and property damage insurance, as well as, Worker's Compensation Insurance at \$ 1 million per occurrence, \$ 2 million aggregate and an additional \$ 6 million umbrella.

Cost for above labor and materials

\$ 15,540.00

Additional Costs:

1. Allstate Sprinkler Corp. will design, engineer, request and pay for DEP Hydrant Flow test, file all plans, perform all hydraulic calculations, expedite all ALT II documents, submit all applications, pay for all fees, secure work permit and perform hydrostatic pressure test in order to obtain final approval, final sign-off from NYC Dept. of Buildings and Letter of Completion.

The NYC Building Dept. requires a 3rd party inspector to be hired in order to witness and sign-off on each of the sprinkler applications. The cost below **DOES NOT** include the services of such independent inspection(s). The building owner/general contractor must hire this inspector directly. We can, however, recommend a special inspector to you.

8,800.00 Cost for above

- Terms: 50% deposit, 40% upon completion; 10% upon DOB sign-off.
- All pricing above is subject to applicable sales tax or Capital Improvement/Tax Exempt certificate from the client
- No services will be performed without a signed proposal/purchase order and 50% deposit as stated above.
- This proposal may be withdrawn by us if not accepted within -30- days.

Hoping to be favored with your most valued order,

Sincerely. Adam Goodrich

perform all se	this proposal: the above prices, speci rvices as specified above. Release of proposal. Payments will be made as o	a purchased order or retainer based		
Date	Print Name	Signature	Title	



M & M CONTROL WIRING AND ELECTRICAL, INC.

2952/2954 Richmond Terrace, Staten Island, NY 10303 Mailing Address: 259 Fanning Street, SI, NY 10314

Tel: (718) 442-0529 / (718) 477-5342

NJ Tel: (908) 487-1211 Fax: (718) 370-0333

www.mmewglgetrieal.com//gmail: info@mmewglgetrieal.com A CERTIFIED WOMAN BUSINESS ENTERPRISE



P #6740

01/29/21

PROPOSAL

To: West Side Institutional Synagogue 120 West 76th Street New York, NY 10023

OUR COMPANY IS PLEASED TO PROVIDE THE FOLLOWING SERVICES:

Relocation of Memorial Plaques:

- Provide and Install 5/8" plywood at back wall of big chapel 40ft
- Provide and Install on two sides of chapel supports on round wall
- Provide and Install 5/8" plywood at two sides 23ft of big chapel
- Provide and Install sheetrock as needed
- ▶ Paint and compound walls only where wood would be installed NOTE: Ceilings and Columns will NOT be painted.
- Remove power from existing wall plaques
- Remove 85' of plagues off the wall and relocate to big chapel
- Install plaques on plywood in big chapel
- > Provide and Install power for big plaque on chapel from existing outlet on wall and energize 40' plaque
- ➤ Provide and Install conduit and wires in basement to 2-sides of big chapel for powering plaques 2
- Make room in existing panel in basement for new wiring
- Core drill (2) holes for power on two sides by curved wall
- Provide and Install power for (2) 22 ½' plaques
- Chanel (2) walls for power as needed
- Provide and Install ¼" molding around plywood

General Qualifications/Notes:

- 1) This job is based on non-union employees and non-prevailing wages.
- 2) All work is to be performed during normal business hours. After-hours and weekends are not included.
- 3) Items not described in this proposal will be issued a change order.
- 4) Electrical Permit is included.
- 5) The following items are NOT included in this proposal:
 - a. Upgrade of Electrical Panels/Service
 - b. Moldings and Frame only around new plywood
 - c. GC Permit
 - d. Architect Fees and Drawing approvals
 - e. Painting of entire big chapel (only where we installed plywood)
 - f. Ceiling Paint
 - g. Responsibility of any broken plaques or any old wiring inside plaques due to age
 - h. Waxing or shining of plaques
 - i. Concrete work
 - j. Steel work
- 6) All electrical devices supplied will be contractor grade in white.
- 7) A 30% deposit is due at commencement of this proposal.
- 8) Progress Payments will be billed according to work phases.

Initial:	Page 1 of 2
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The complete total for this job according to the qualifications/notes is \$30,000.00.

Thank You for your Business M & M Control Wiring And Electrical, Inc.

Acceptance of Proposal — The above prices,
Specifications and conditions are satisfactory and are hereby
accepted. You are authorized to do the work as specified.
Payments will be made as requested. If or any legal fee's should occur,
The above named customer is responsible for all and or any legal fee's.

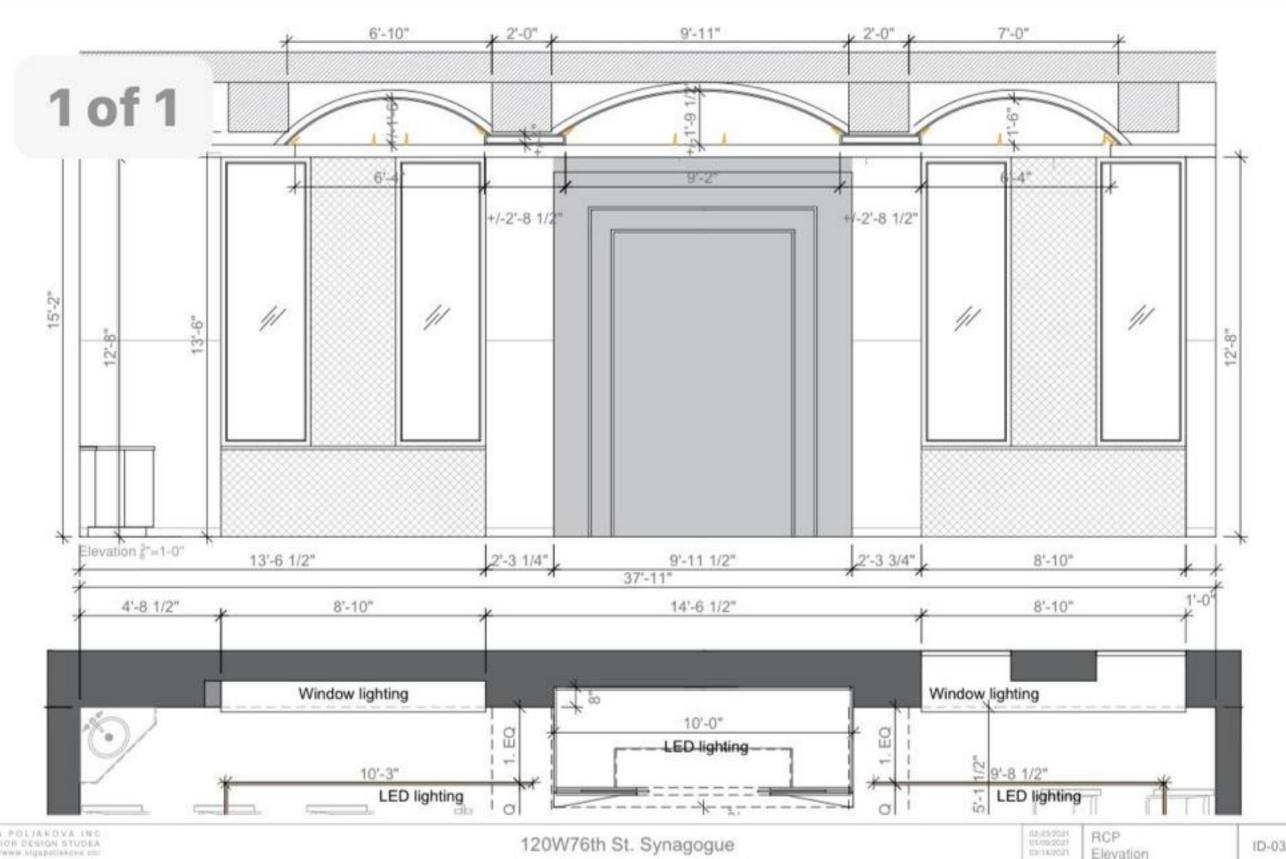
Date of Acceptance:	Signature:

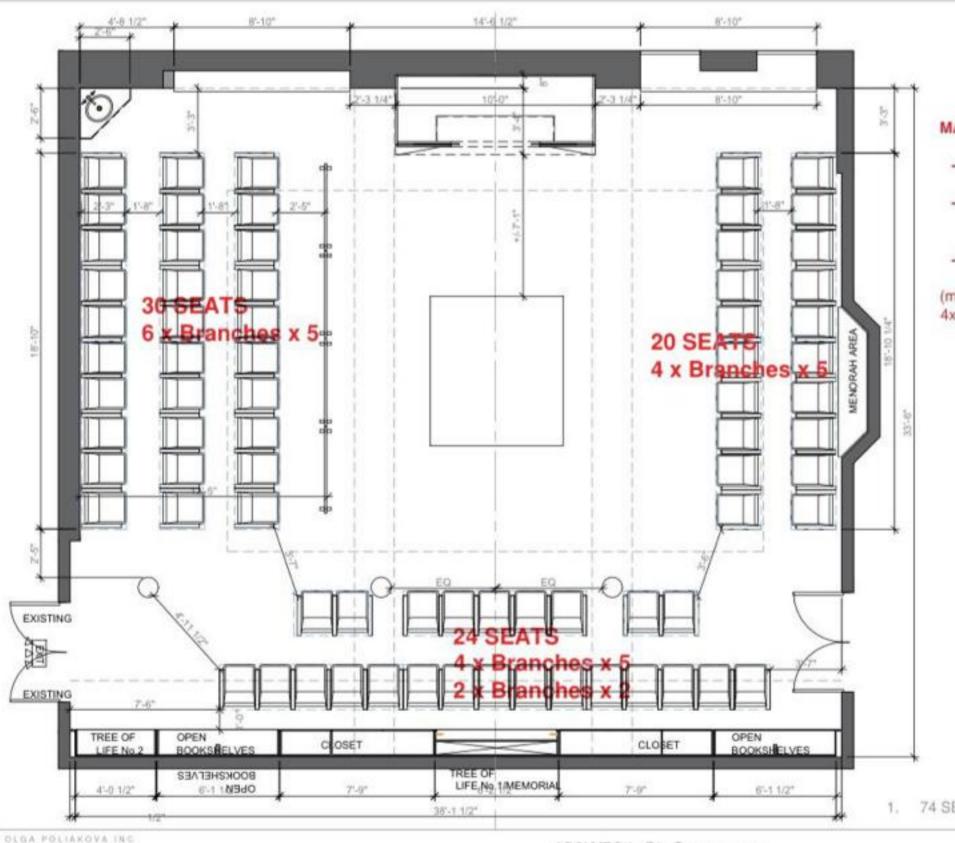
Note: This proposal may be withdrawn by us if not accepted within <u>10 days</u>, due to changes in the market material prices. All Proposals must be signed and dated; no verbal consent will be honored.

Initial:_____



PLANS FOR THE NEW MAKOM



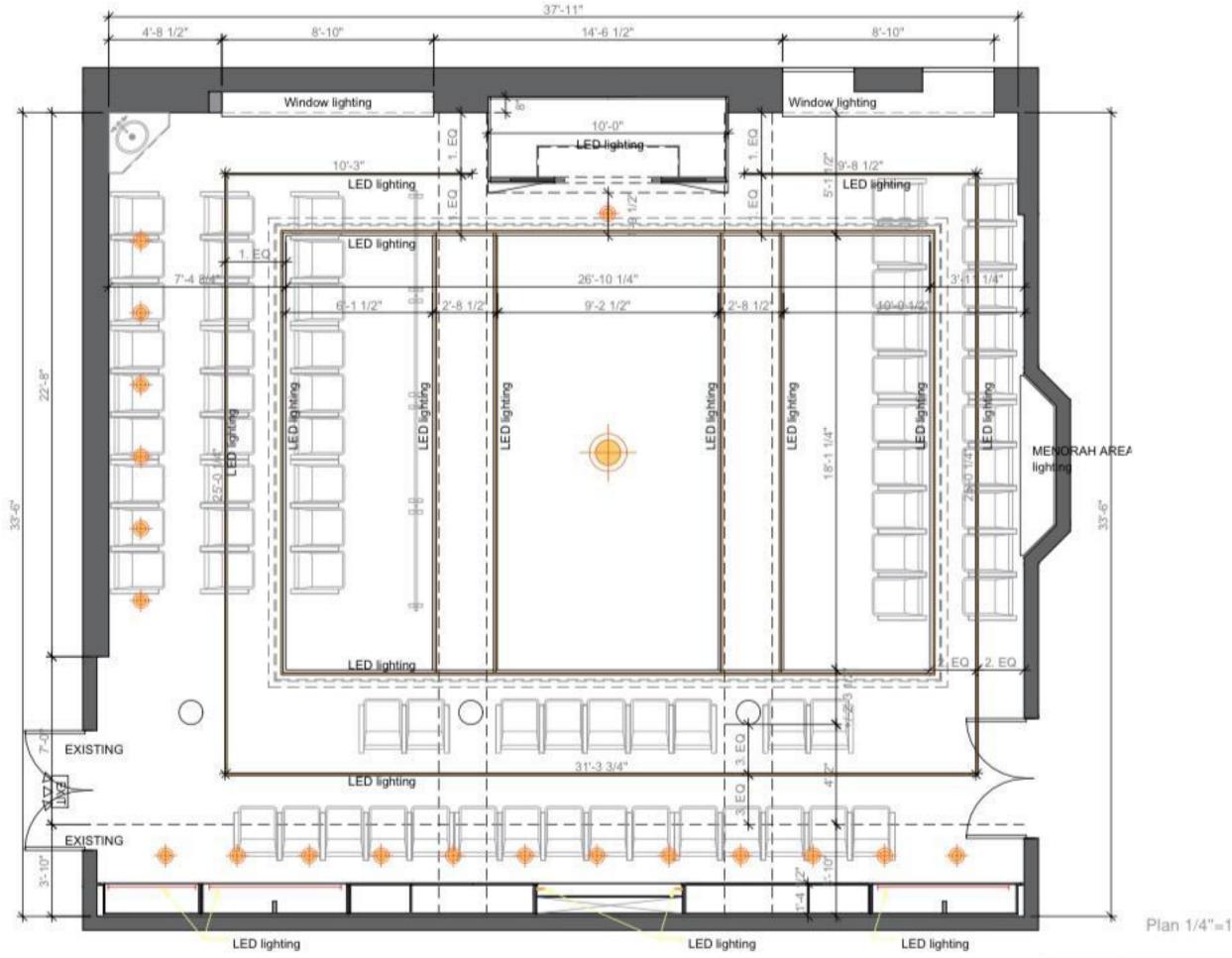


MAIN SEATS AMOUNT (74 seats):

- 20 SEATS SECTION 4 benches 5 seats
- 24 SEATS SECTION 4 benches 5 seats. 2 benches 2 seats
- 30 SEATS SECTION 6 benches 5 seats

(maximum seats 96) 4x5 seats, 2x1seat

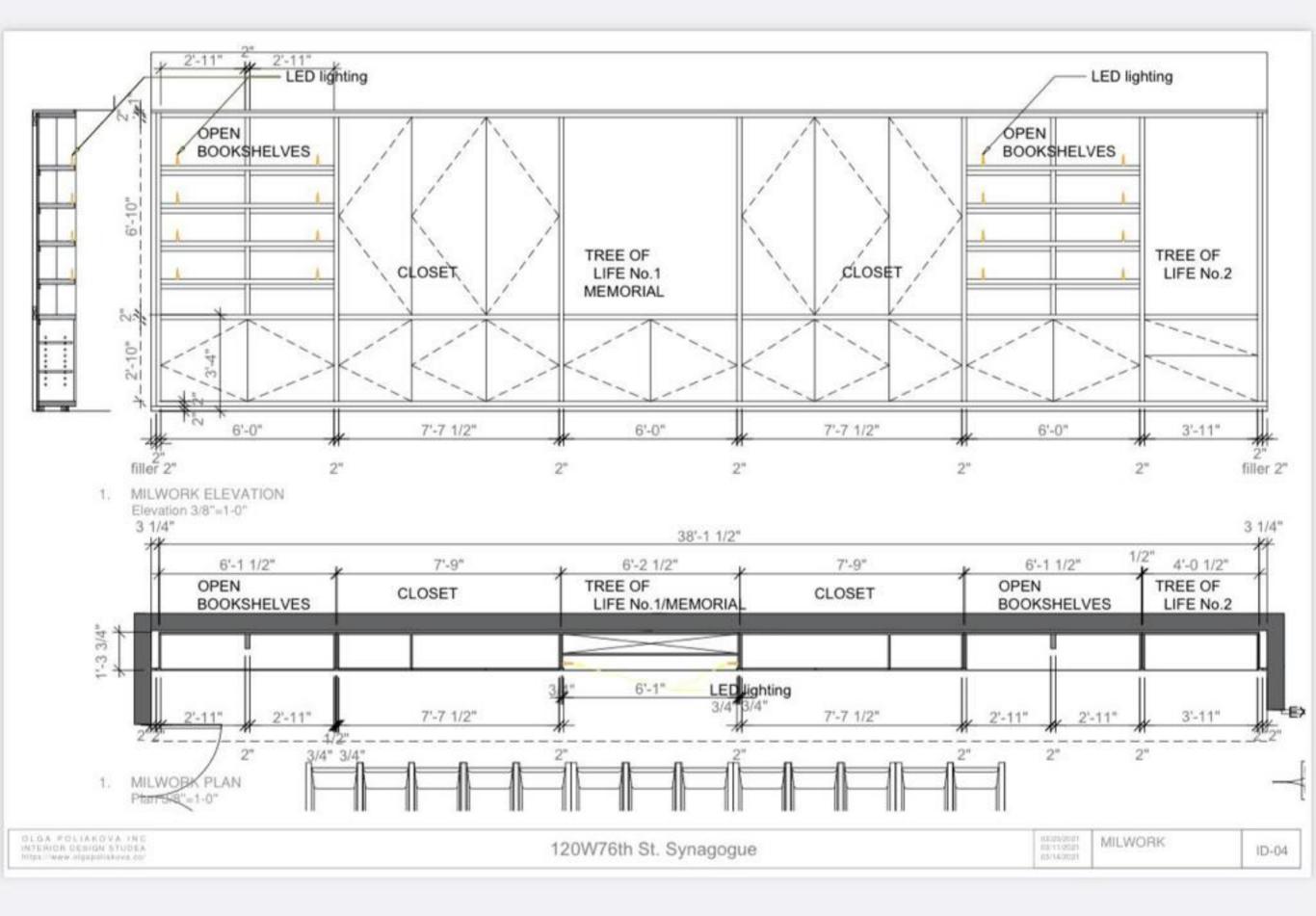
1. 74 SEATS PLAN Plan 1/4"=1-0"



02/23/2021 03/09/2021 03/14/2021

RCP

PLAN





3D RENDERING OF THE NEW MAKOM







